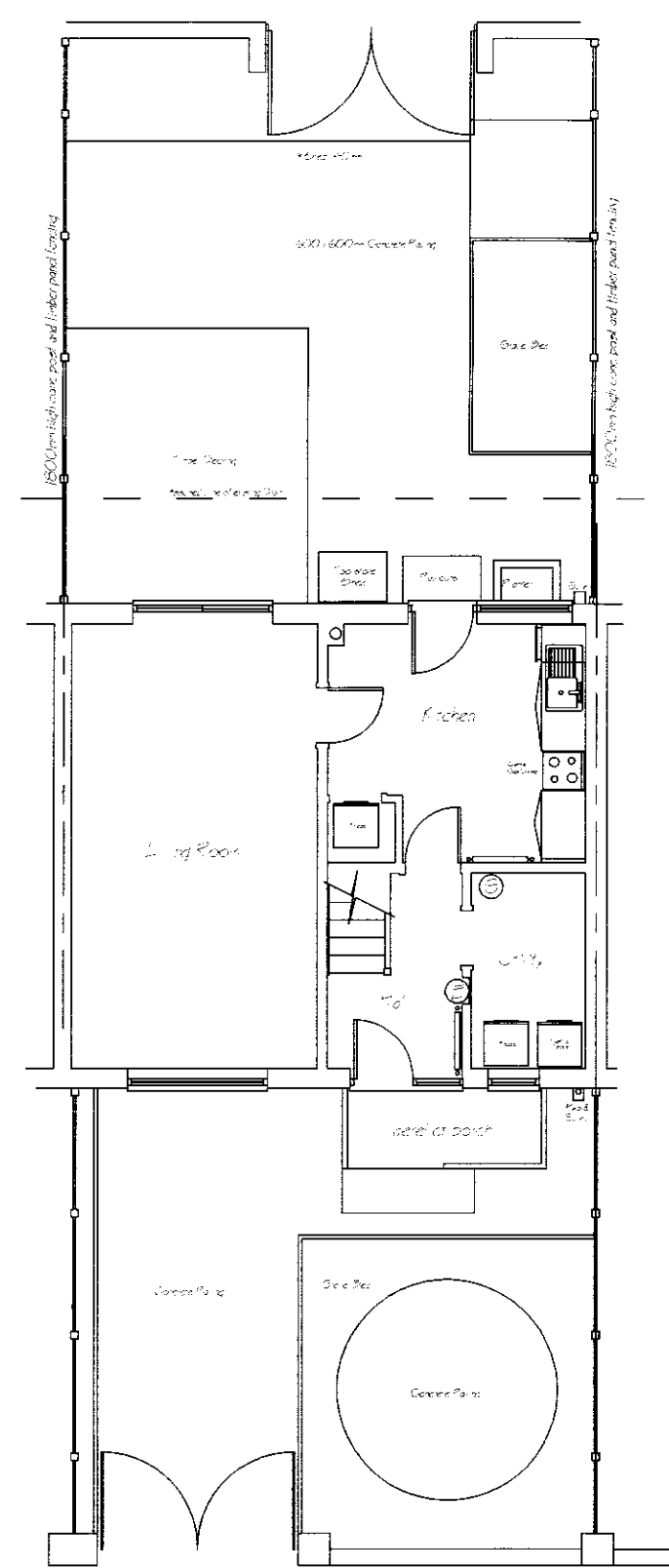
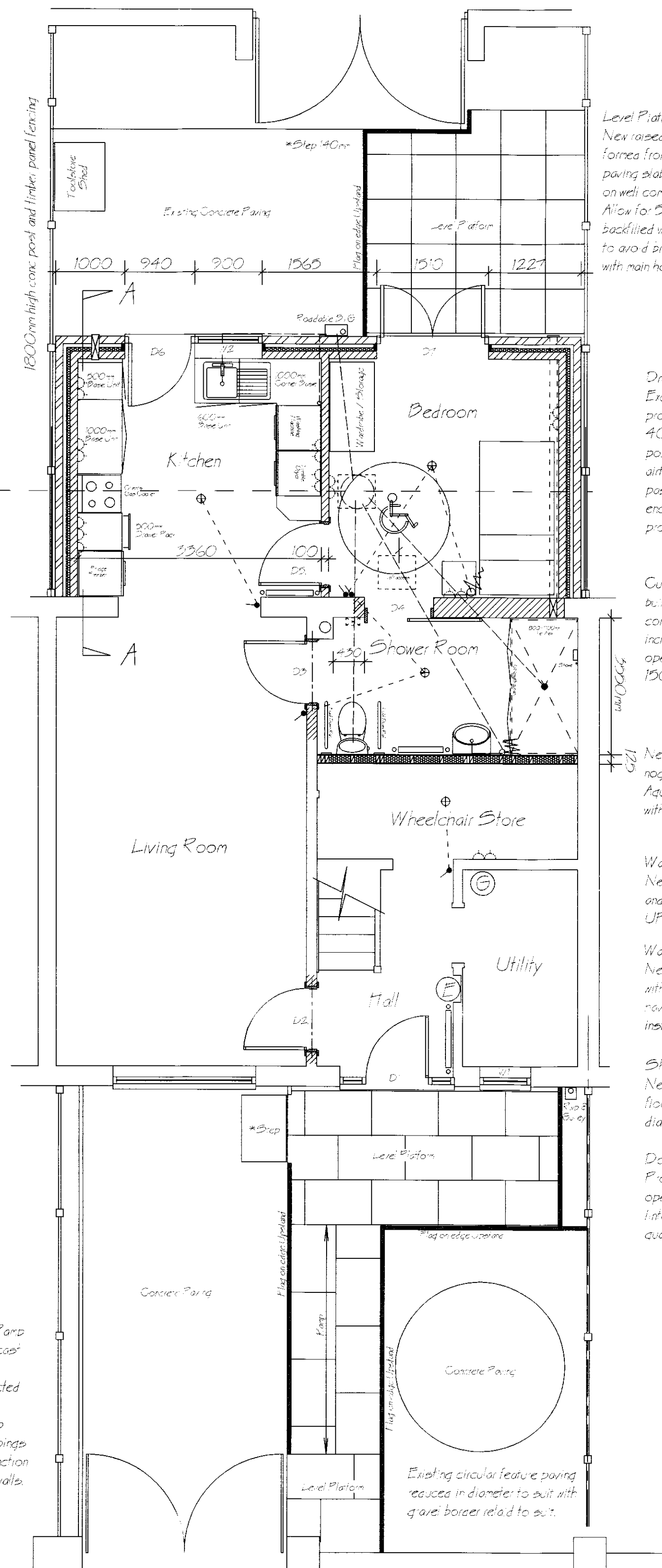




Existing Ground Floor Plan



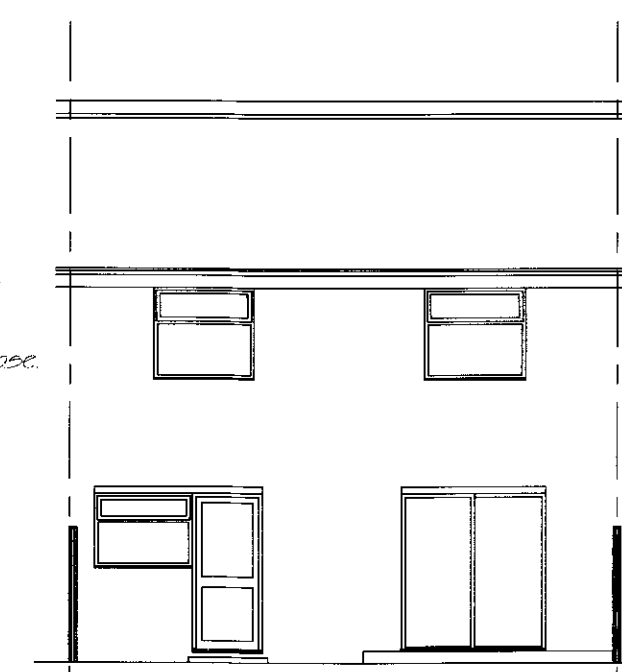
Proposed Ground Floor Plan

Cavity wall Construction
1025 mm good quality facing brickwork outer leaf to match existing, 100mm cavity with 5 No stainless steel ties / m2 recessed at openings with 50mm Kingspan Thermal TW50 Insulation 2 outer 50mm nominal cavity, 100mm thick dense concrete blockwork inner leaf with 12.5mm plasterboard and skim on both internal finish.
U-V value 0.353 W/m2K.
Windows W1, W2
New aluminium reinforced UPVC window frames with top hung opening lights as shown. Frames to have sealed double glazing units (Patterned Glass to Shower Room) with min 22mm air gap and low E coating to inner pane. Frames to have trickle ventilators to give min 4000mm2 background ventilation.
Lintols
New Lintols to be Galvalume or Equal galvanneal MS combined lintols with min 150mm end bearing.
Glazing
Glazing to critical areas to conform to BS6206.

Electrical Alterations
All electrical alterations covered by Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. This person must be registered with an authorised self certification scheme (eg BRE Certification, BS, Electric, NICEIC, or NAPIT). CERTIFICATION Prior to completion an appropriate BS7671 electrical installation certificate must be provided by the competent person.
Mechanical / Ventilation
Vent Axia Solo SFLV 12" humid stat controlled mechanical extractor fan with min extraction rate 15L/s to be fitted to new Shower Room. Fan to be wall mounted and vented to outside via 100mm diameter pre ducting routed across Bedroom at high level. Air to rear wall and fitted with draught proof cover externally.

Floor Finishes
Shower Room - PolySafe MPRO non slip sheet vinyl 100%.
Colour to owners choice.
Bedroom & Kitchen - Mable, Nylon or equal 2mm thick vinyl tiles Colour to Owners choice.

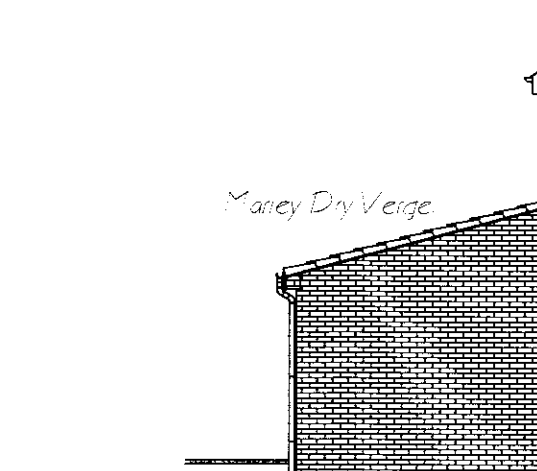
Fire Protection
All elements of structure to be in rail hour fire resistant.
All joints between fire separating elements and pipework penetrating fire structure to be suitably fire stopped.
All works to comply with the current Building Regulations and subsequent amendments and to be to the satisfaction of the District Building Control Office.



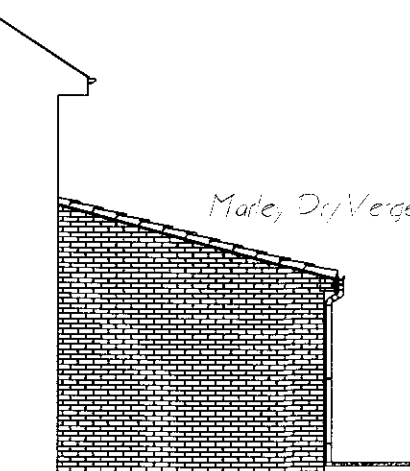
Existing Rear Elevation



Proposed Rear Elevation



Proposed Gable Elevation



Proposed Gable Elevation

Pitched Roof Construction
New pitched roof to be formed as follows Marley or equal concrete roof tiles to match existing on 28 x 25mm treated saw battens on reinforced. Breathable underfelt on 150 x 47mm soft grade saw rafters at 400mm c/c. Ceiling joists to be 170 x 47mm SCA grade saw at 400mm centres with 9.5mm plaster and skim soffit with 270mm Rockwool or equal approved fire retardant insulation quilt 100mm between joists and 170mm over. Roof void to be vented by breathable felt with moths closed. Fascias and soffits to be Mable or equal white UPVC. Roof pitch to be 15 degrees.

Rain Water Goods
Gutters to be 100mm diameter black UPVC. Deepflow rainwater pipe to 68mm diameter black UPVC.

Lintols to be Galvalume or Equal galvanneal MS combined galvanneal lintols with min 150mm end bearing.

Facing Brickwork
Facing Brickwork to be good quality face brick to closely match existing and must be agreed on site prior to use.

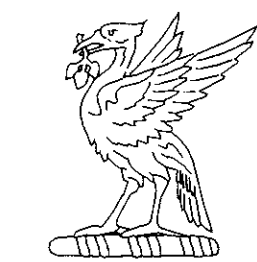
Damp Proof Course
DPC to be a min of 150mm above Ground level.

2 No courses 2nd class engineering brickwork or French Blocks below ground level, cavity to be filled with weak mix concrete to ground level.

Floor Construction
Latest levelling screed on 50mm cement / sand floor screed on 100mm C20/20 mix concrete floor slab on 125mm Kingspan Thermal TPI insulation Boards on 1200g visqueen DPM on 150mm well compacted sand blinding hardcore. Floor slab to have 12mm EPS Insulation to perimeter edges.
Foundations
New concrete strip foundation size & depth to suit ground conditions and to be agreed on site with the District Building Control Office. Min size 600mm x 200mm x 1 metre depth.

Proposed Section A - A

- GENERAL**
ALL WORK TO CONFORM TO BUILDING REGS. 1985 & SUBSEQUENT AMENDMENTS & TO THE SATISFACTION OF THE L.A.B.S.
DO NOT SCALE FROM DRAWINGS- ALL DIMENSIONS IN MILLIMETERS.
SETTING OUT TO BE CHECKED BY CONTRACTOR ANY DISCREPANCY REPORTED TO SUPERVISING OFFICER. PARTY WALL CONSENT TO BE OBTAINED FROM ADJOINING OWNER. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION AND SCHEDULE OF WORKS PROVIDED BY THE AGENCY. THE CONTRACTOR SHALL MAKE NO VARIATIONS WITHOUT PRIOR CONSENT FROM THE AGENCY.
HABITABLE ROOMS TO HAVE A MIN 2300MM CEILING HEIGHT ANY ALTERATIONS TO SPECIFIED MATERIALS TO BE AGREED WITH AGENCY SERVICES
- DRAINAGE**
ALL EXISTING DRAINS TO BE GRUBBED UP AND REMOVED WHERE NECESSARY.
ALL DRAINS UNDER BUILDING OR LESS THAN 900MM BELOW G.L. TO BE ENCASED IN 150MM CONCRETE.
DRAINS TO BE 100MM DIA. APPROVED MATERIAL AT GRADIENT 1:40
MANHOLES TO BE 225MM CLASS B ENGINEERING BRICK ON 150MM 1:2:4 CONCRETE BASE WITH 1/2 ROUND S.G.S.W. CHANNELS, 1:3 CEMENT/SAND BENCHING, LIGHTWEIGHT GALV. STEEL COVER & FRAME.
GUTTERS TO BE 75MM 1/2 ROUND P.V.C. R.W.P.'s TO BE MIN 63MM ROUND UNLESS STATED OTHERWISE.
- TIMBER**
ALL TIMBERS BUILT IN TO RECEIVE 2 No. COATS PRESERVATIVE.
TO BE SOUND & FREE FROM INSECT ATTACK ALL SIZES TO MEET REGULATIONS.
ALL NEW TIMBER SKIRTING TO BE FIXED ON TREATED TIMBER CONTINUOUS GROUND BATTENS WITH PLASTER STOPPED OFF ABOVE FLOOR & AIR SPACE BEHIND.
- PROTECTION**
ALL ELEMENTS OF STRUCTURE TO HAVE MIN 1/2 H.V. FIRE RESISTANCE.
PRIVATE AREAS TO HAVE CLASS 1 SPREAD OF FLAME FIRE DOORS TO BE 1/2 H.V. SELF CLOSING WITH 25MM STOPS (WHERE APPLICABLE)
- D.P.C.'s**
HESSIAN REINFORCED BITUMEN OR APPROVED HYLOAD LEDCORE, POLYTHENE TO B.S. 747 INSERTED 150MM ABOVE GROUND LEVEL TO ALL NEW WALLS LAPPED & BONDED. INJECTED D.P.C. TO ALL EXISTING GROUND FLOOR WALLS TO MANUFACTURER'S SPECIFICATIONS D.P.M.'s TO ALL HEADS JAMBS, CILLS, CAVITY ENDS & CLOSURES.
- SERVICES**
GAS, WATER, ELECTRICITY TO BE PROVIDED & INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SERVICE AUTHORITIES. CONTRACTOR TO NOTIFY ABOVE FOR PROGRESS INSPECTIONS.



The City of Liverpool

Adult Services.

AGENCY SERVICES SECTION

Venmore Mews
Venmore Street
Liverpool L5 1UL.

Project
Proposed Ground floor Bedroom & Shower Room Adaptations for R.D.P.

Drawing
23 Broomhill Close, Liverpool L27 1XT.

Scale 1: 50 & 100
Drawing Number AS/ NH 71 - 15/16
Drawn N. Hargrave
Date March 2016
Status