

Gross Area : 1305 sqft Ground Floor : 543 sqft First Floor : 515 sqft Second Floor : 247 sqft Circulation : 121 sqft Net to Gross 9 % All Areas and dimensions are taken to STRUCTURAL FINISH.			Γ	TI	he Pock	lington		
Ground Floor : 543 sqft First Floor : 515 sqft Second Floor : 247 sqft Circulation : 121 sqft Net to Gross 9 % All Areas and dimensions are taken to STRUCTURAL FINISH. 0 1 2 3 4 5 m			E			-		
First Floor : 515 sqft Second Floor : 247 sqft Circulation : 121 sqft Net to Gross 9 % All Areas and dimensions are taken to STRUCTURAL FINISH. 0 1 2 3 4 5 m								
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