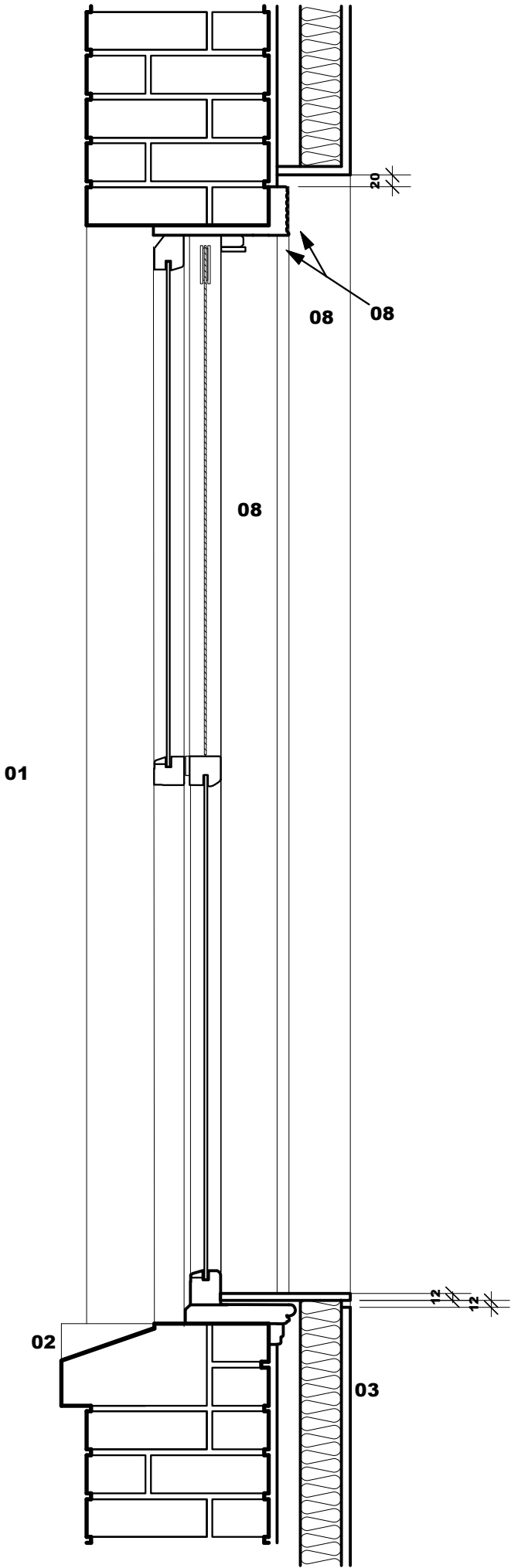
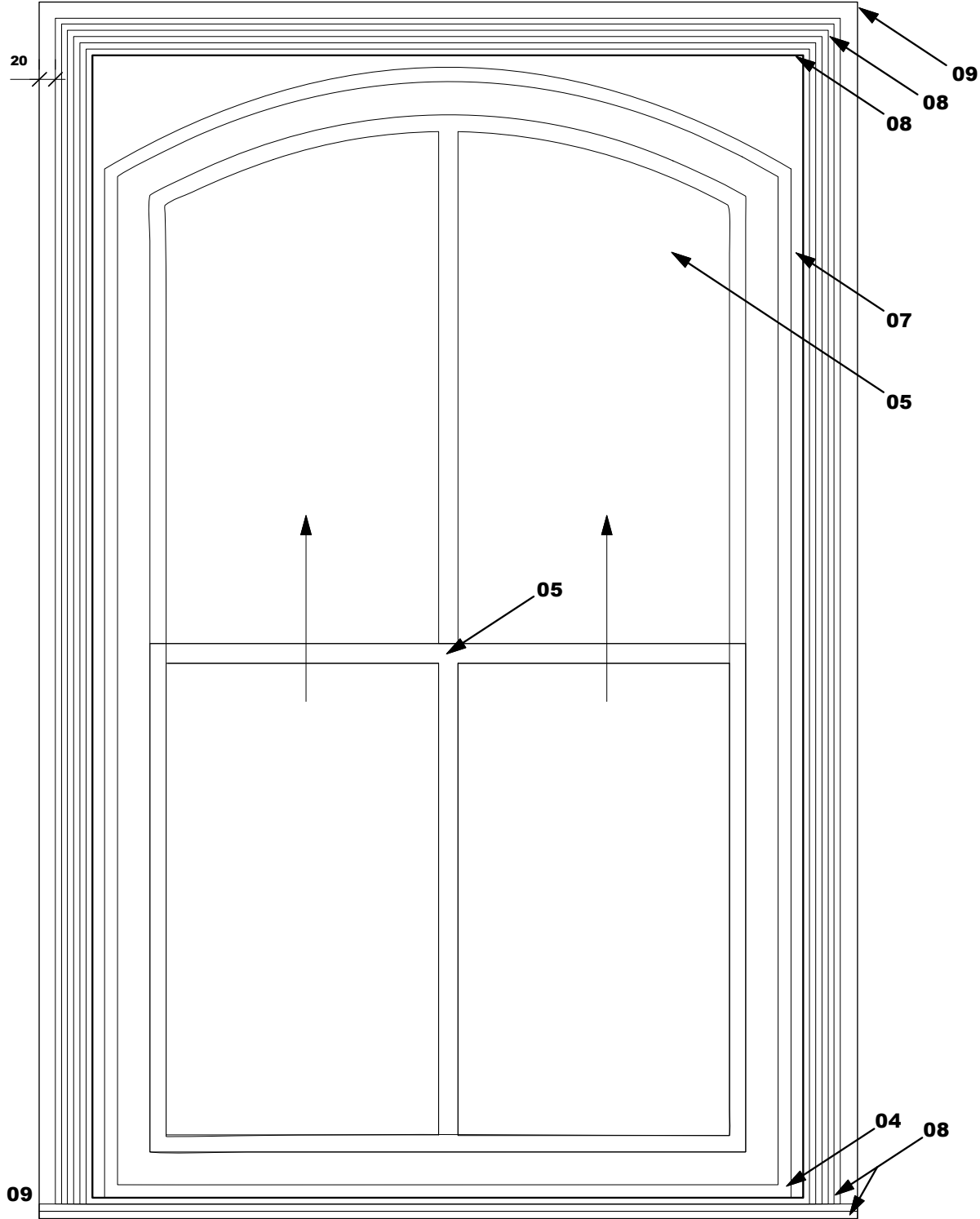




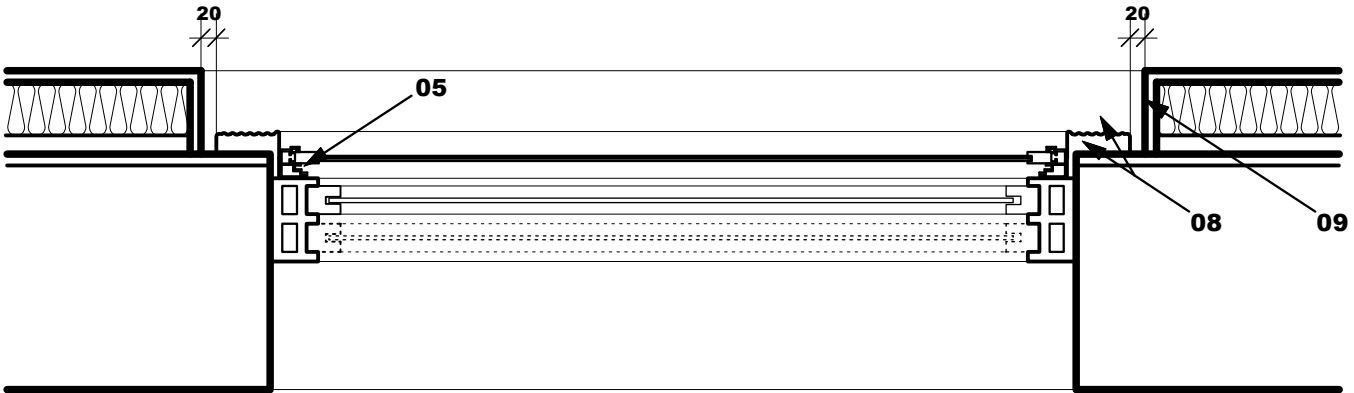
Plots 08 & 12 • Detail Drawings



Section



Internal Elevation



Plan Detail

Note:

- 01 Original Sash Windows Restored:**
- Remove excess paint from frame and effect repairs if necessary
 - Replace sash cords and service pulleys if necessary
 - Renovate top and bottom sash if necessary, planing off excess paint
 - Prime all exposed woodwork and chalk beading
 - Window restrictors will be necessary (to allow bottom and top sash to slide only 100mm open for safety)
 - New Centre catch lock - stainless steel, **NOT GOLD!**
 - Painted using 2 coats of satin matte white external paint
- 02 Existing stone sills remain unaltered**
- 03 Hardwood sill to inside to cover new insulated plasterboard zone, plasterboard bead below to form shadow gap**
- 04 Window frame restored and expose**
- 05 Existing glass to be replaced with slimline double glazing with the exception of any original Victorian glass panels if any remain. Due to severe vandalism on site, many of the original glass panes are damaged.**
- 08 Window frame exposed**
- 07 Sash cords and pulleys repaired**
- 08 Window reveal sill - 12mm painted hardwood**
- 09 Plasterboard drylining to return 20mm outside of the existing window architrave- or best dimension to avoid meeting the existing sill- see internal section, bottom corners**

Note:

Whilst the windows have arched panes to the top section, the reveal to the inside is rectangular as drawn.

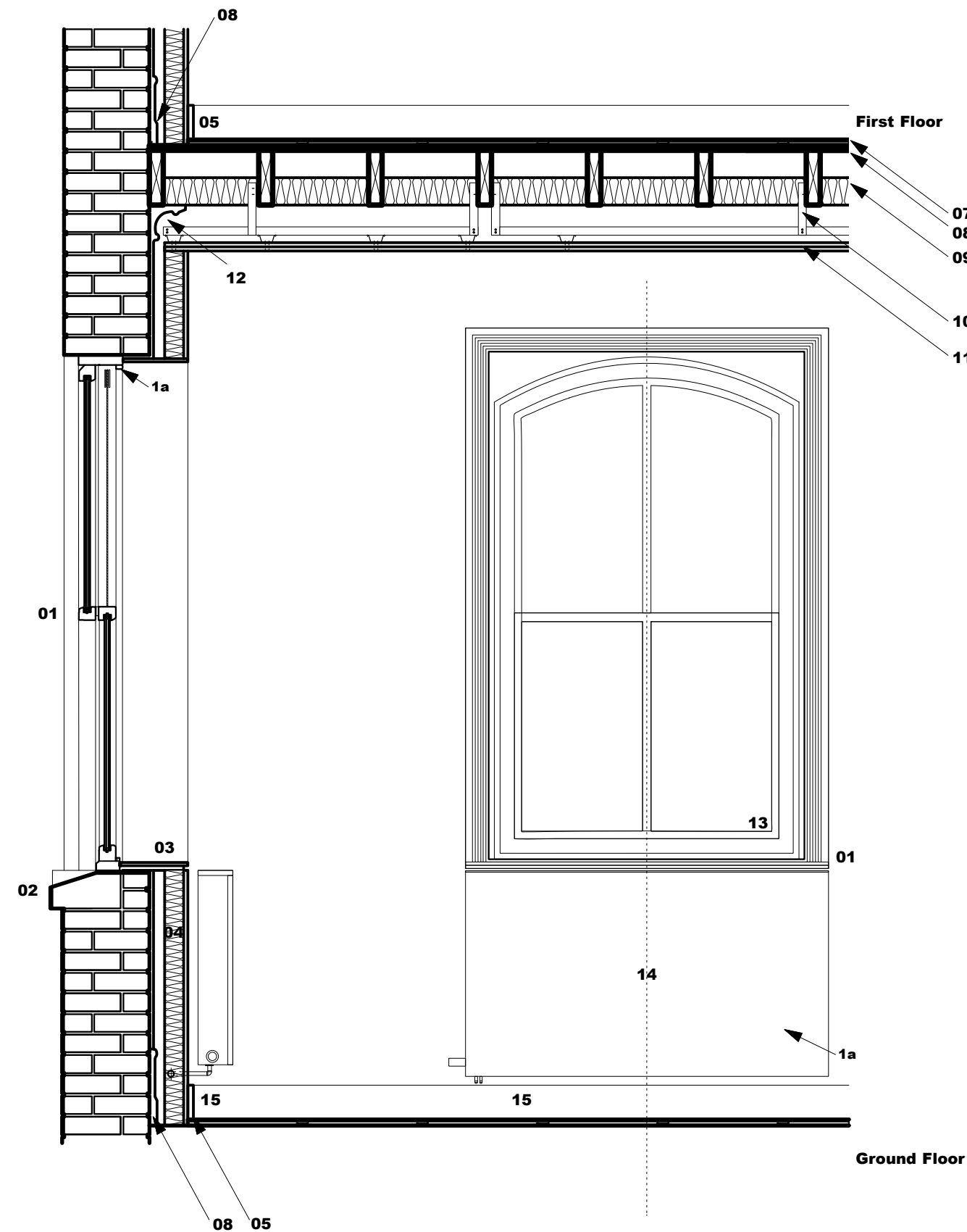
Window Quantities Per Dwelling:

Type 1 (Larger side windows):	1080w x 1575h - 22no.
Type 2 (Smaller side & front windows)	910w x 1575h - 14no.
Type 3 (Hallway windows)	1440w x 1575h - 2no.
Type 4 (Utility Rm window)	800w x 1000h - 1no.

These dimensions are from a survey and measurements must be taken and confirmed by the window manufacturer prior to fabrication. The stated above are approximate only.

NEW HALL No. 04	
Client	Next Big Thing Estates
Drawing No.	045_03_P020 • No. 04 - Window Detail
Scale	1:10 @ A3, 1:5 @ A1
Status	Planning

Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.



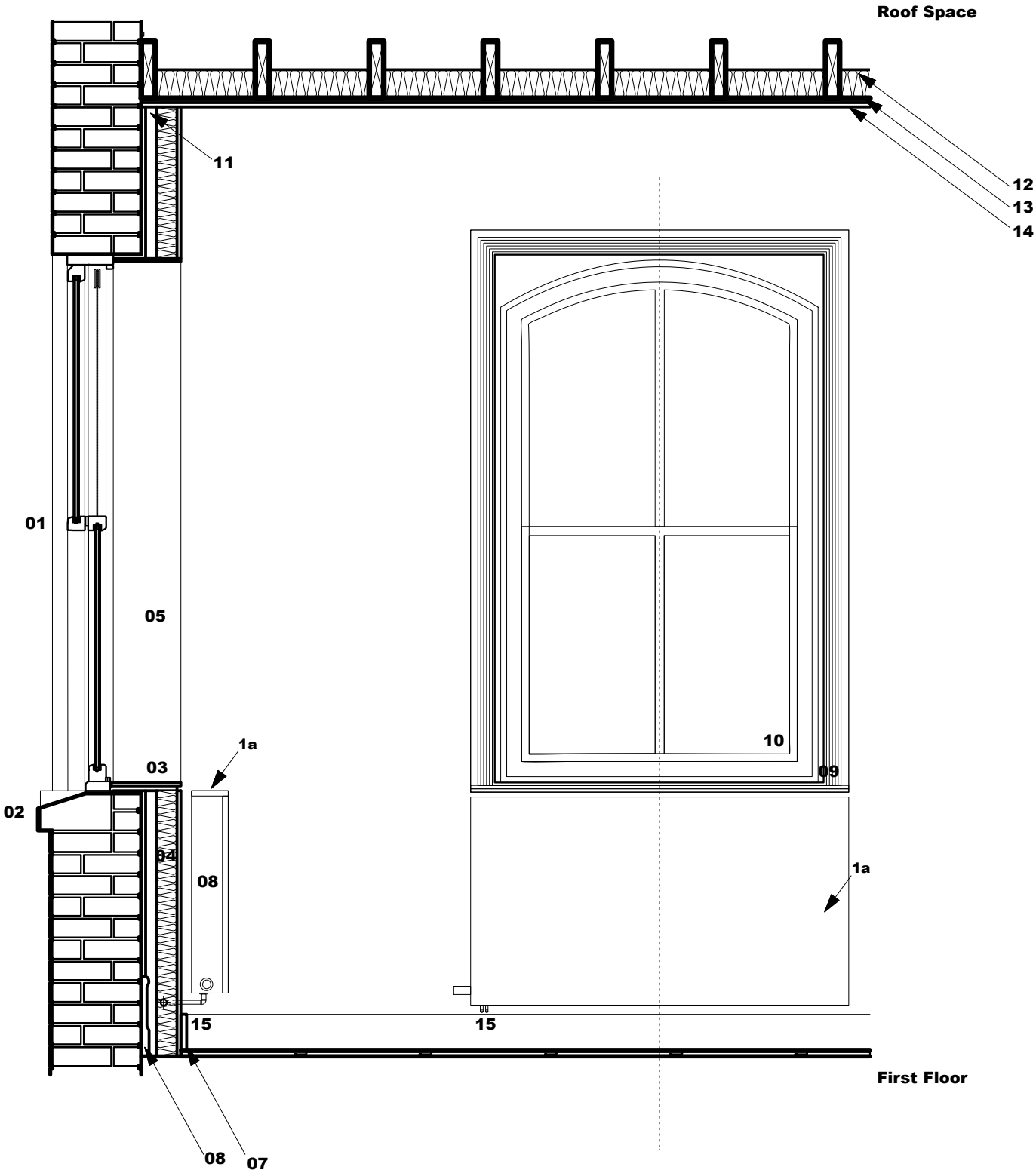
- 01 Please refer to window details
- 02 Existing stone sills to remain
- 03 20mm painted hardwood sill to inside, plasterboard bead return under
- 04 Dry-lining to external walls:
- 70mm insulated plasterboard with vapor barrier
 - Fixed on carrier rails to create a cavity (prevention of damp)
 - All sockets to be recessed, not surface mounted
 - Skim and painted white
 - 150mm square edge skirting (NO TAURUS CURVES)
- 05 Plasterboard returns to window, if possible a thin insulated pb or insulated DPC to be used to reduce cold bridging
- 08 Original (albeit badly damaged and previously crudely infilled) skirting to remain in place
- 07 22mm allowance for both a new oak floor to living areas and carpet to bedrooms
- 08 Original joists & floor boards remain, carpet tiles removed
- 09 RS60 100mm mineral wool insulation friction fitted between joists
- 10 Acoustic hangers screw fixed at 1200 centres (every fourth joist)
- 11 2 layers of Knauf 'Soundsheild' to create a 60 minute fire barrier
Board layout to be staggered, FR beading to perimeter and skimmed.
To avoid doubt, no so called 'magic tape' or skimless finished.
- 12 Original architrave (again, badly damaged, chopped and infilled previously) to remain in place with the new ceiling hangers to avoid the perimeter
- 13 Please refer to window details
- 14 Radiators (white convectors)
- 15 All water feeds to be concealed as much as possible to avoid potential burns

NEW HALL No. 04

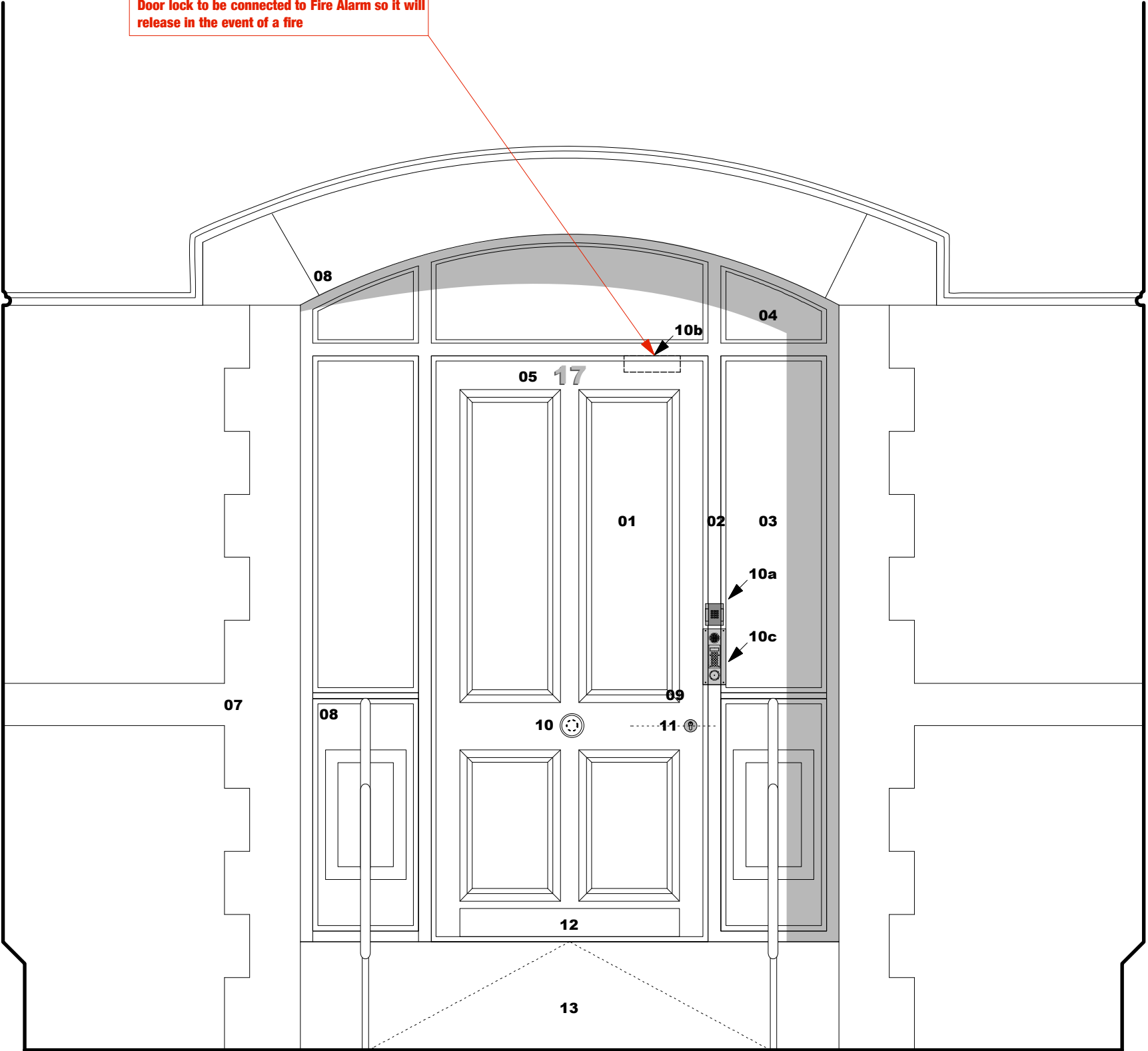
Client	New Hall • No. 04
Drawing No.	045_03_P022 • Plots 08 & 12 • Ground Floor Section Detail
Scale	1:20 @ A3
Status	Planning

Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.

- 01
- Please refer to window details
- 02
- Existing stone sills to remain
- 03
- 20mm painted hardwood sill to inside, plasterboard bead return under
- 04
- Dry-lining to external walls:
 - 70mm insulated plasterboard with vapor barrier
 - Fixed on carrier rails to create a cavity (prevention of damp)
 - All sockets to be recessed, not surface mounted
 - Skim and painted white
 - 150mm square edge skirting (NO TAURUS CURVES)
- 05
- Plasterboard returns to window, if possible a thin insulated pb or insulated DPC to be used to reduce cold bridging
- 08
- Original (albeit badly damaged and previously crudely infilled) skirting to remain in place
- 07
- 22mm allowance for both a new oak floor to living areas and carpet to bedrooms
- 08
- New white convector radiators
- 09
- Windows restored as per window details
- 10
- Any damaged glass repaired.
- 11
- No architrave is present within the rooms on first floor however, they are present and made visible in the hallway- see drawing P047
- 12
- RS60 100mm mineral wood insulation friction fitted between joists
- 13
- Damaged ceilings replaced (water ingress in places)
- 14
- New plasterboard, skim and paint finish to ceiling
- 15
- All water feeds to be concealed as much as possible to avoid potential burns



NOTE:
Door system to be keypad access to outside and release button & break glass to inside
Door lock to be connected to Fire Alarm so it will release in the event of a fire



- 01 - Existing Door Repaired, painted anthracite grey- see spec.
- 02 - Door surround and frame repaired, painted gloss white as existing
- 03 - New slimline double glazing installed, clear glass throughout
- 04 - New slimline double glazing installed, clear glass throughout
- 05 - New brush steel lettering for door numbers- as per Item 3
- 08 - Door arch maintained
- 07 - All brickwork maintained
- 08 - Timber infill panels repaired and painted gloss white as existing
- 09 - New D-Line pull handle brushed stainless steel, as per Item 2
- 10 - Digital Lock Access (Item 2):

- 10A - GSD 1 Door Digital Keypad, 50 user (MAS Alarm Systems)
 - Keypad to both sides (no door release to inside)
 - 10B - Magnetic Security Lock System GL-1800F 10TB
 - 10C - Videx 10 button intercom panel, stainless steel
- Note:** Magnetic lock to be connected to Fire Alarm System so the lock releases when fire alarm sounds
- 11 - New brushed stainless steel locks with thumb turns - items 5 & 6
 - 12 - Protective brushed stainless steel kick-plate as per item 4
 - 13 - Existing access ramp and handrails remain - handrails painted black



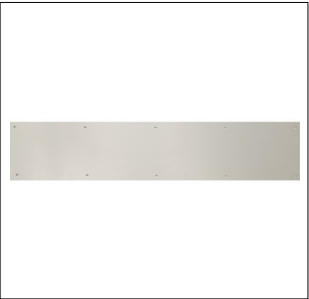
Item 1



Item 2



Item 3



Item 4



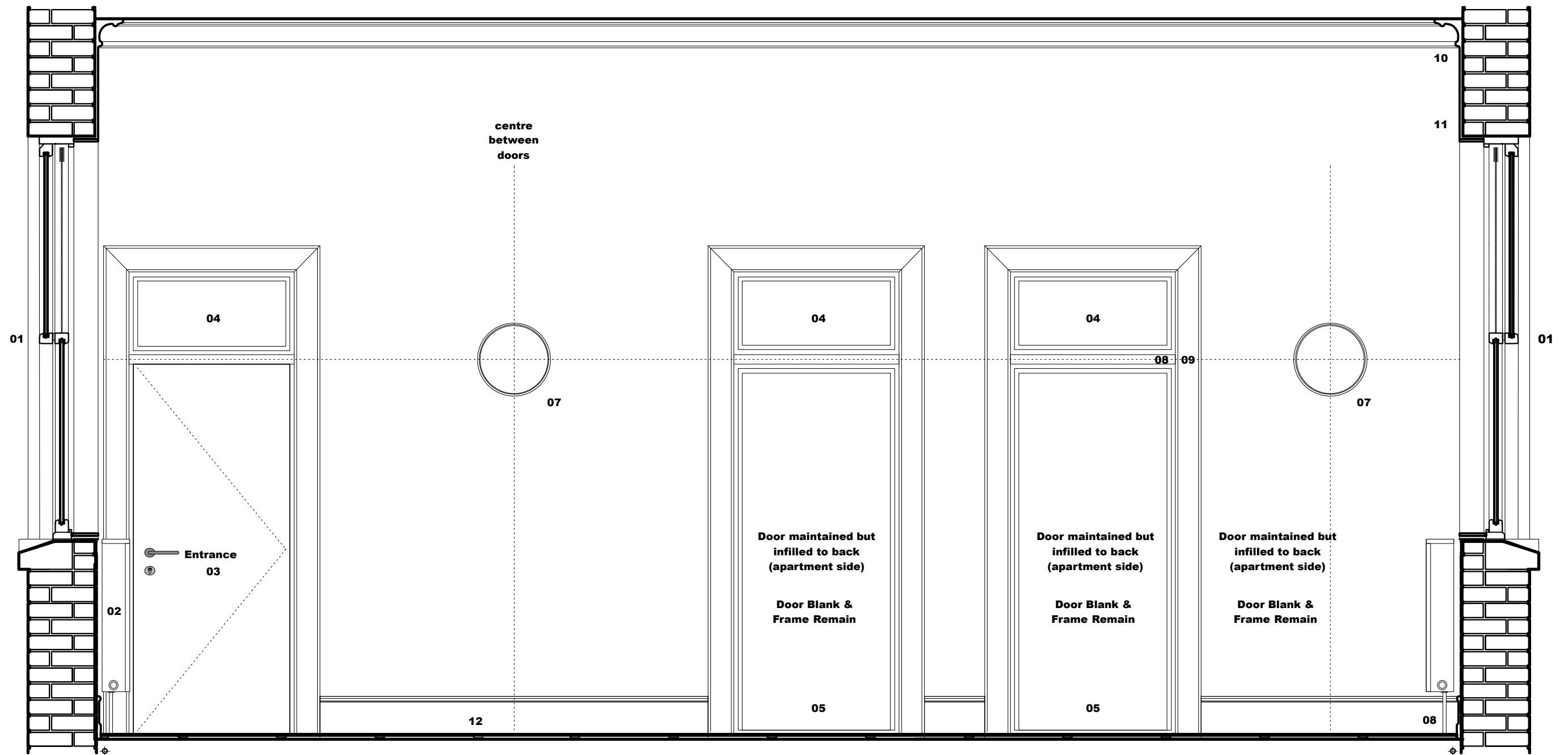
Item 5



Item 6

NEW HALL No. 04	
Client	Next Big Thing Estates
Drawing	045_03_P023 • Front Door Details
Scale	1:20 @ A3
Status	Design Development

Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.



- 01 - Windows restored - please refer to drawing P44
- 02 - Low surface temperature radiators
- 03 - Apartment Entrance
- 04 - Fan Light remains, painted panel in front with 20mm offset to all edges
- 05 - Door opening remain, painted panel infill with 20mm offset to all edges
- 06 - Centre between doors
- 07 - Emergency lights as per item 01- 60 min battery needed
- 08 - Fan light frame remains
- 09 - Door frame remains
- 10 - Architrave remains, ceiling to be patch repaired and painted.
- 11 - Walls to be made good (patch repair) and painted.
- 12 - Timber floor to replace carpet tiles

Item 2: Zumtobel square illuminated emergency exit lights where required



Item 1

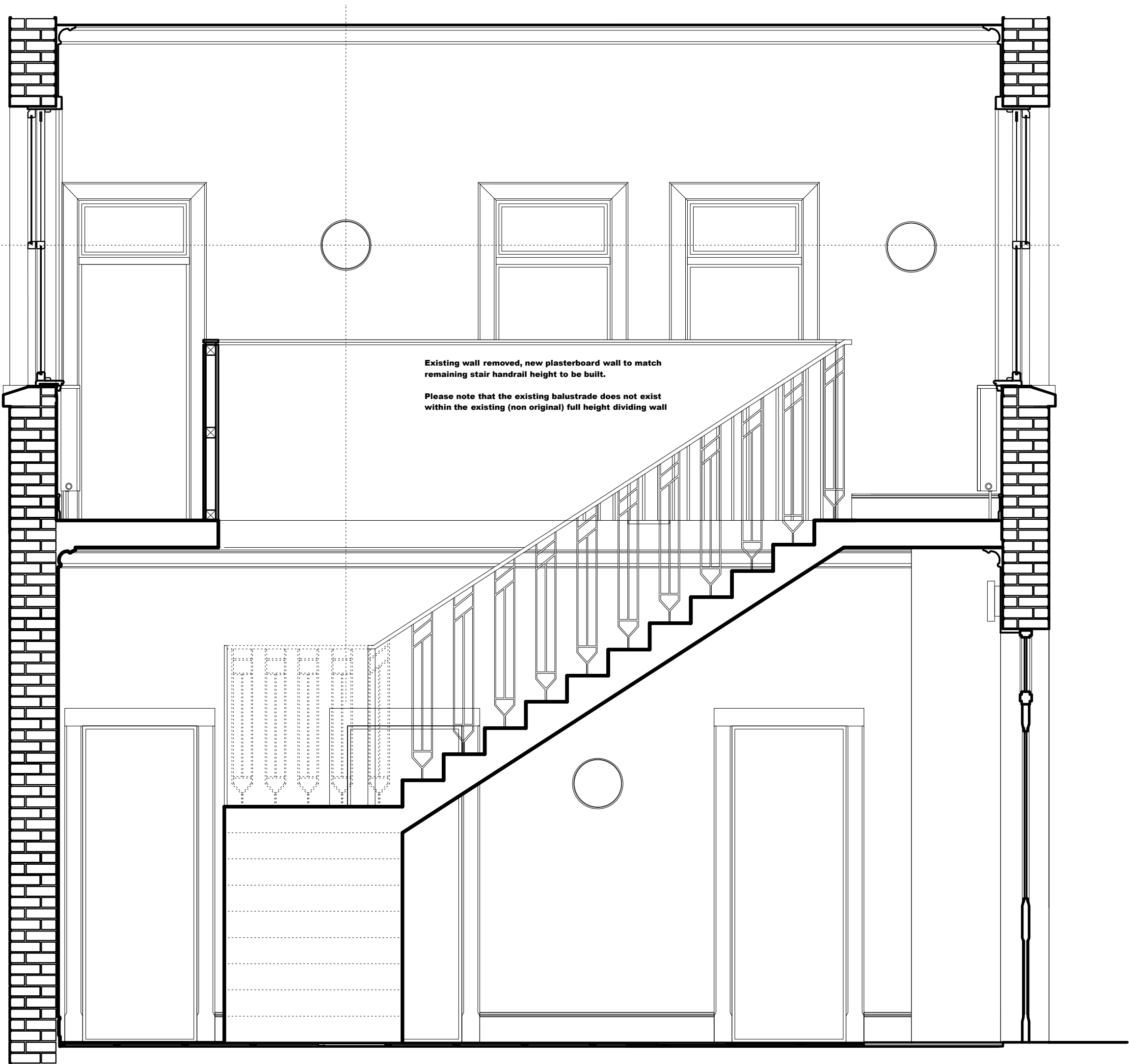


Item 2

NEW HALL No. 04

Client	Next Big Thing Estates
Drawing	045_03_P025 • First Floor Hallway Details
Scale	1:20 @ A3
Status	Design Development

Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.



Notes:

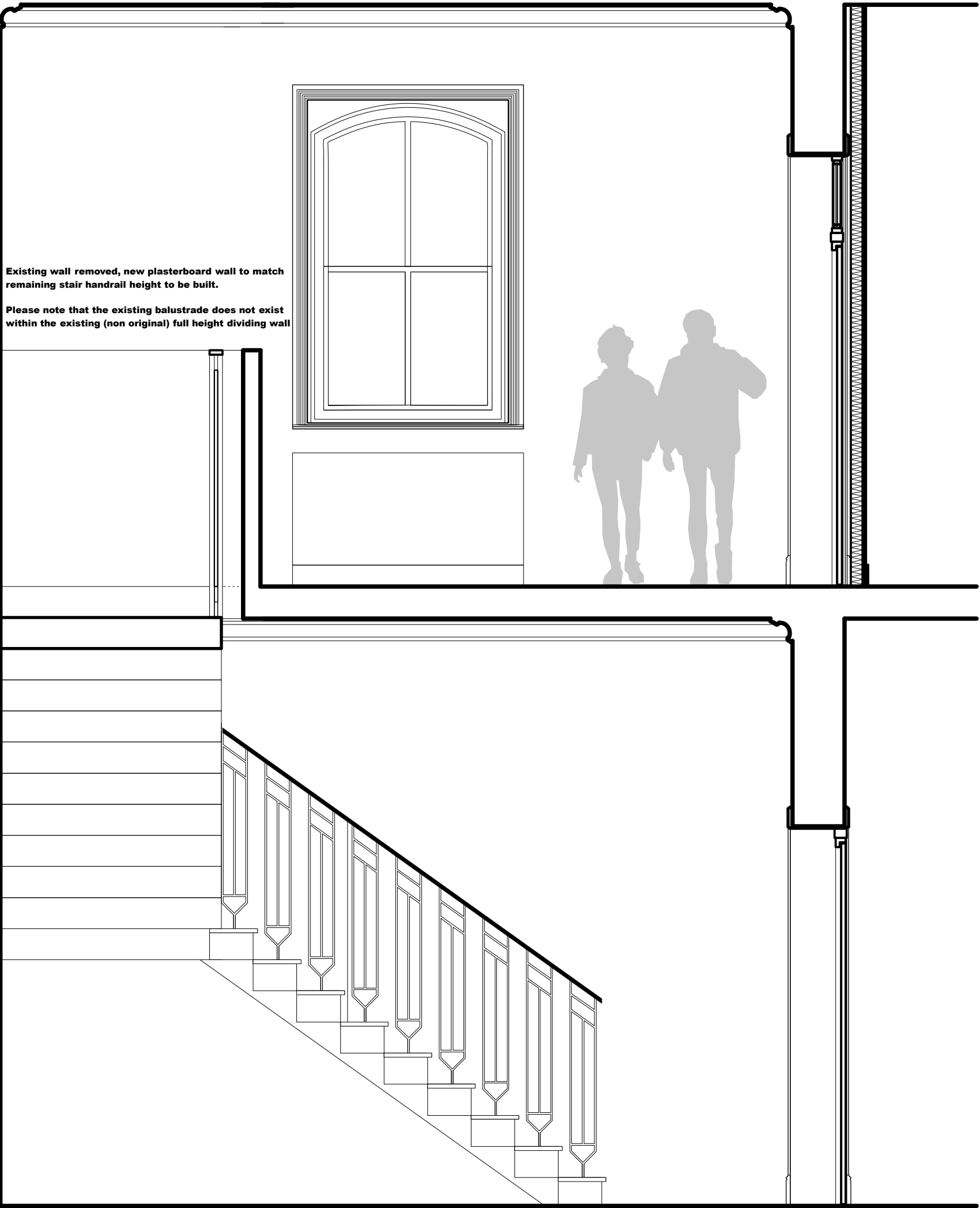
This new wall is a client requirement to prevent occupant's self harm, or worse, by climbing over the existing balustrade. The existing balustrade will be maintained with a new 120mm stud wall built around it, using the return angle for stability.

NEW HALL No. 04	
Client	Next Big Thing Estates
Drawing	045_03_P026 • Hallway: New Stair Wall
Scale	1:25 @ A3
Status	Design Development

Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.

Existing wall removed, new plasterboard wall to match remaining stair handrail height to be built.

Please note that the existing balustrade does not exist within the existing (non original) full height dividing wall

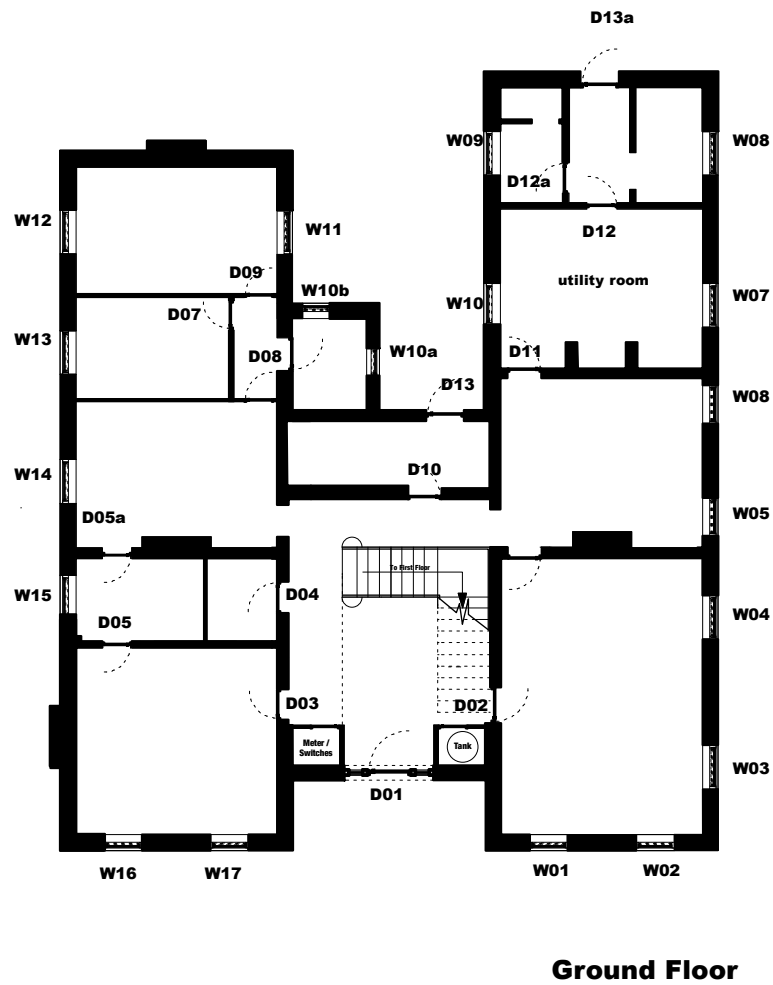
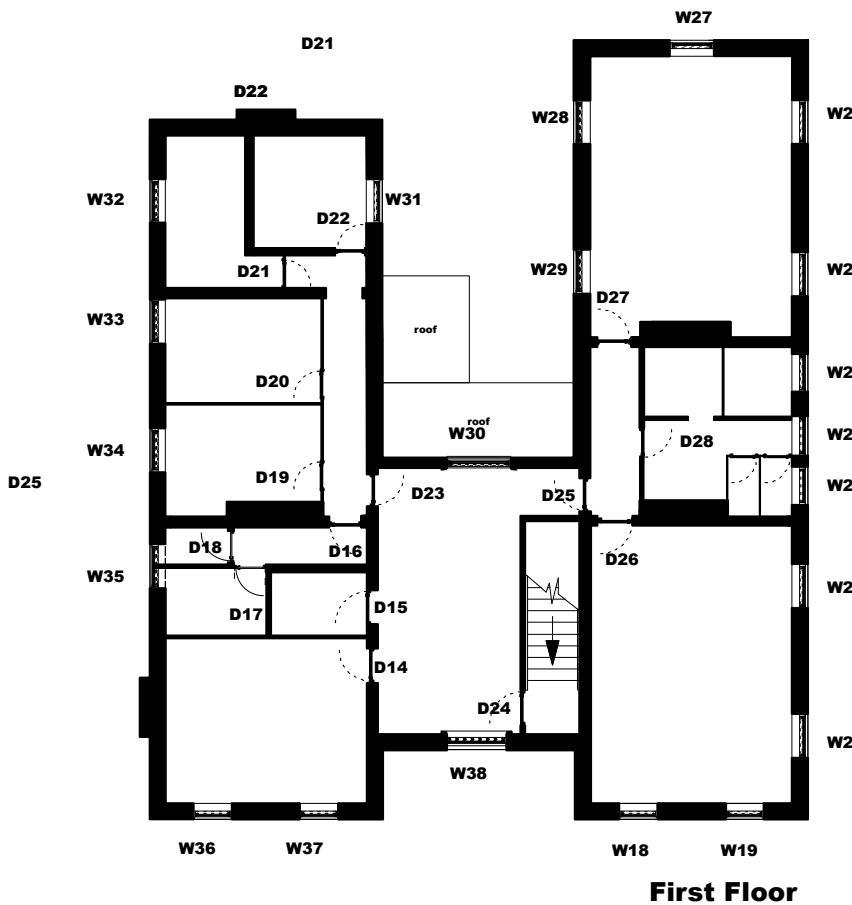


Notes:

This new wall is a client requirement to prevent occupant's self harm, or worse, by climbing over the existing balustrade. The existing balustrade will be maintained with a new 120mm stud wall built around it, using the return angle for stability.

NEW HALL No. 04	
Client	Next Big Thing Estates
Drawing No.	045_03_P027 • Plots 08 & 12 • Hallway Stair Wall
Scale	1:25 @ A3
Status	Planning

Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.



Window No.	Replacement	Proposed Restoration Works	Window Surrounds Present	Dry Lining Detail
W01	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W02	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W03	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W04	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W05	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W08	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W07	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W08	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W09	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W10	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W10a	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W10b	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W11	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W12	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W13	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W14	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W15	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W16	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W17	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W18	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W19	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W20	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W22	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W22	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W23	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W24	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W25	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W26	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W27	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W28	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W29	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W30	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W31	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W32	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W33	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W34	No	As per drawing 045_03_P020	No	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W35	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W36	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W37	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)
W38	No	As per drawing 045_03_P020	Yes	As per drawing 045_03_P020 (Original Window Surrounds Left On Show)

Door No.	Replacement	Proposed Works
D01	No	As per drawing 045_03_P023 (original door restored, glass pane restored)
D02	No	Original Door- To be Maintained
D03	No	Original Door- To be Maintained
D04	No	Original Door- To be Maintained
D05	Yes	Not original fire door- glass infill present
D05a	Yes	Not original fire door- glass infill present
D08	Yes	Not original fire door- glass infill present
D07	Yes	Not original fire door- glass infill present
D08	Yes	Not original fire door- glass infill present
D09	Yes	Not original fire door- glass infill present
D10	Yes	Not original fire door- glass infill present
D11	Yes	Not original fire door- glass infill present
D12	Yes	Not original fire door- glass infill present
D12a	Yes	Not original fire door- glass infill present
D13	No	Original door restored, painted gloss black
D13a	No	Original door restored, painted gloss black
D14	No	Original Door- To be Maintained
D15	No	Original Door- To be Maintained
D16	Yes	Not original fire door- glass infill present
D17	Yes	Not original fire door- glass infill present
D18	Yes	Not original fire door- glass infill present
D19	Yes	Not original fire door- glass infill present
D20	Yes	Not original fire door- glass infill present
D21	Yes	Not original fire door- glass infill present
D22	Yes	Not original fire door- glass infill present
D23	No	Original Door- To be Maintained
D24	Yes	Not original fire door- glass infill present
D25	No	Original Door- To be Maintained
D26	Yes	Not original fire door- glass infill present

Note:

All original radiators were previously removed by LCC and replaced by LST covered radiators and standard convector radiator panels, all served with new thinner copper pipe feeds.

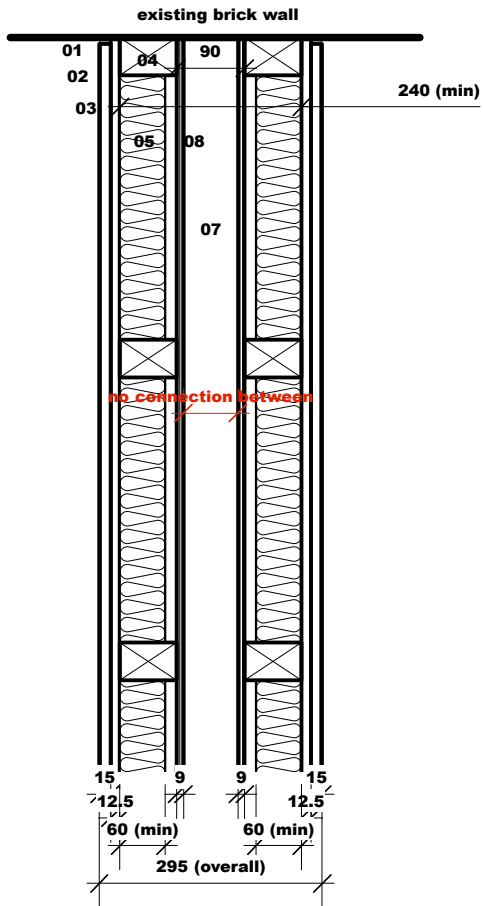
There are a few original sinks (removed and relocated by LCC and listed on the photo sheets on this application) and one original 'Belfast Sink' (also relocated by LCC) which will be removed and securely fixed & stored on the Newhall site, within the outbuildings behindPlot 21

Plot 21 outbuildings are referred to in the previously granted application number 14L/1091 & 14F/1089, issued on 04/ 08/ 14.

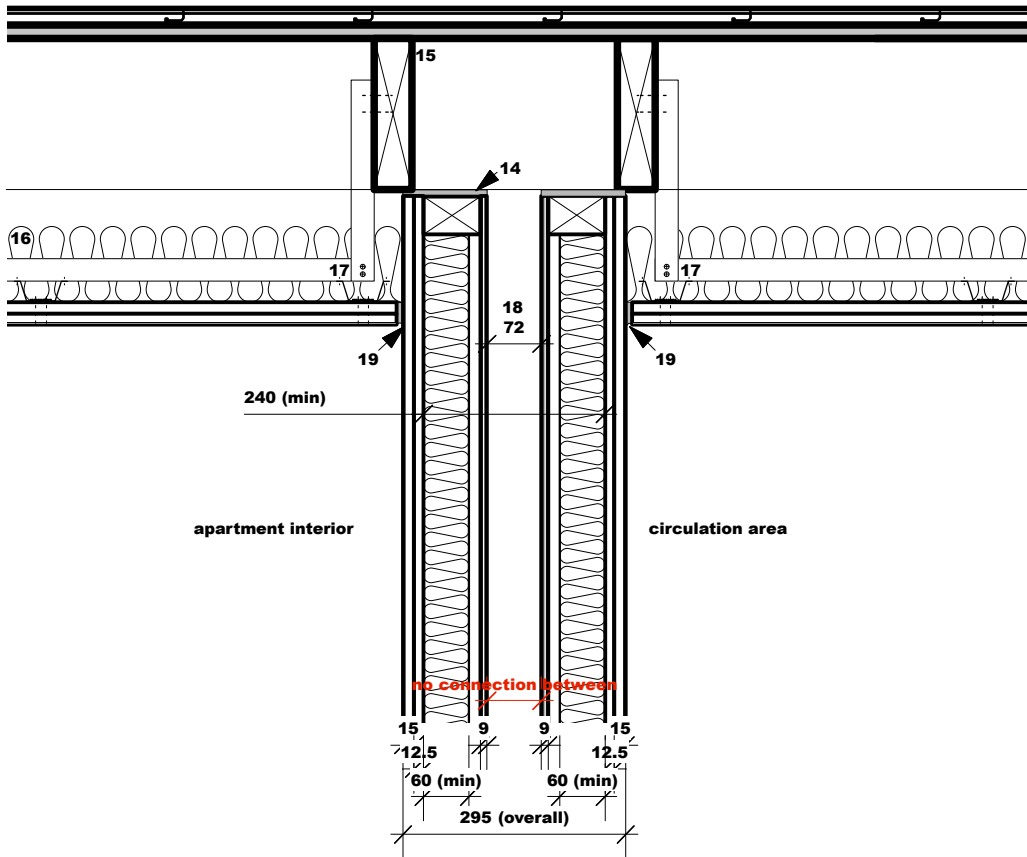
- Remaining doors shown on the plan are toilet cubical door swings and are recent additions.
- To avoid doubt, all existing doors will be re-used within this building

NEW HALL No. 04	
Client	Next Big Thing Estates
Drawing No.	045_03_P028 • Plot 28 • Window & Door Schedule
Scale	Not to Scale
Status	Planning

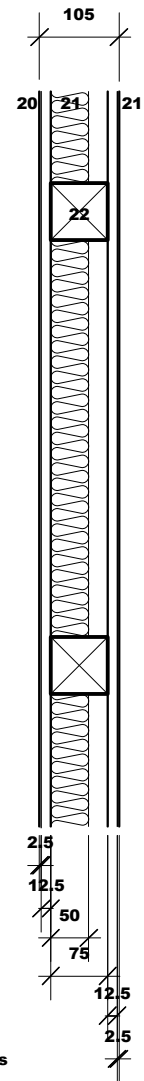
Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.



plan • party wall/ existing wall • 1:5



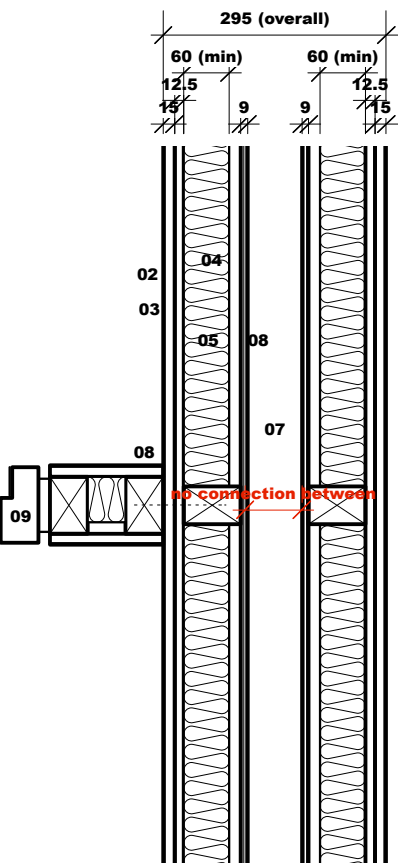
section • party wall/ new ceiling • 1:5



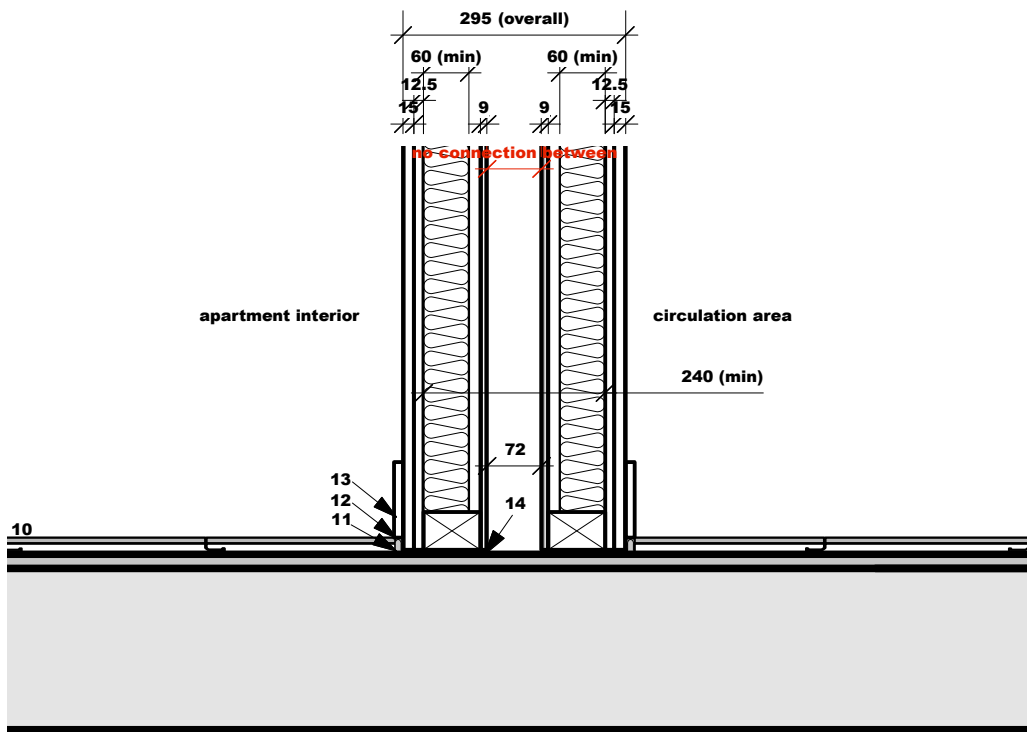
interior partition walls

section • party wall/ floor • 1:5

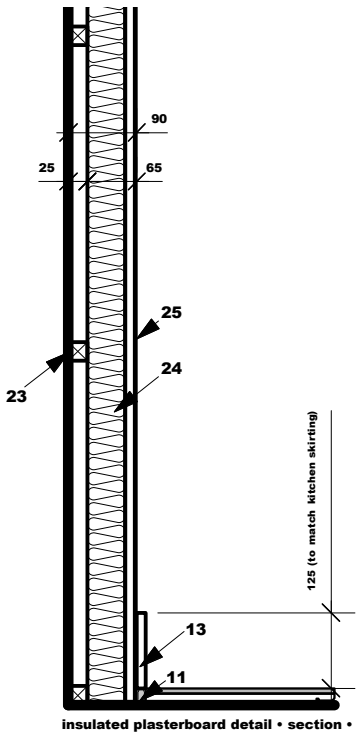
- 01 acoustic sealant to edge of plasterboard where it meets uneven brickwork
- 02 15mm soundbloc plasterboard, skim and paint total nominal mass per area: 22 kg/ msq
- 03 12.5mm soundblock board, joints staggered total nominal mass per area: 22 kg/ msq
- 04 50 x 75 timber frame
- 05 minimum 60mm mineral wool batts on both sides density: 10 - 60 kg/ m3
- 06 9mm plywood sheathing
- 07 240mm minimum between inner faces as drawn 50mm minimum between wall panels
- 08 return wall face fixed to outer plasterboard sheet all perimeter joints sealed with tape skim and paint finish both sides
- 09 hardwood door frame to apartment 4 entrance
- 10 15mm engineered timber floor finish fixed to existing floor 6-7mm rubber crumb resilient acoustic layer beneath
- 11 acoustic sealant to edges
- 12 skirting board fixed above ffl to avoid physical connection
- 13 125mm h x 12 w mdf skirting, stain painted white
- 14 acoustic rubber crumb isolation strips to bottom of wall
- 15 existing joists
- 16 100mm min mineral wool batts laid on top of board
- 17 ceiling hangers- frame is not to continue over the wall
- 18 minimum of 50mm separation between outer and inner ceiling and wall
- 19 acoustic seal to top of plasterboard
- 20 15mm soundbloc plasterboard, skim and paint finish total nominal mass per areas: 22kg/msq
- 21 minimum 50mm mineral wool batts on both sides density: 10 - 60 kg/ m3
- 22 75 x 75 timber frame wall
- 23 25 x 25 treated timber batons or 25 x 25 Metal Section Stud System, to existing wall
- 24 62.5 Thermal Laminate insulated plasterboard - see Warren Insulations Specification
- 25 Skim and Paint Finish



plan • party wall/ door • 1:5



section • party wall/ floor • 1:5

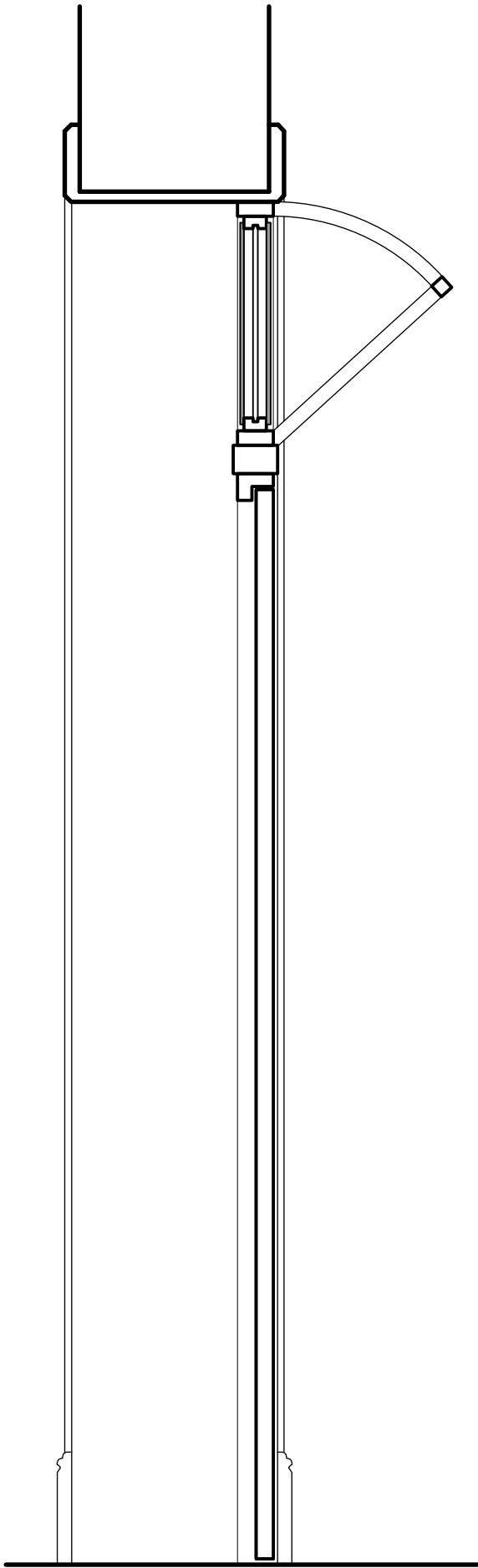


insulated plasterboard detail • section • 1:5

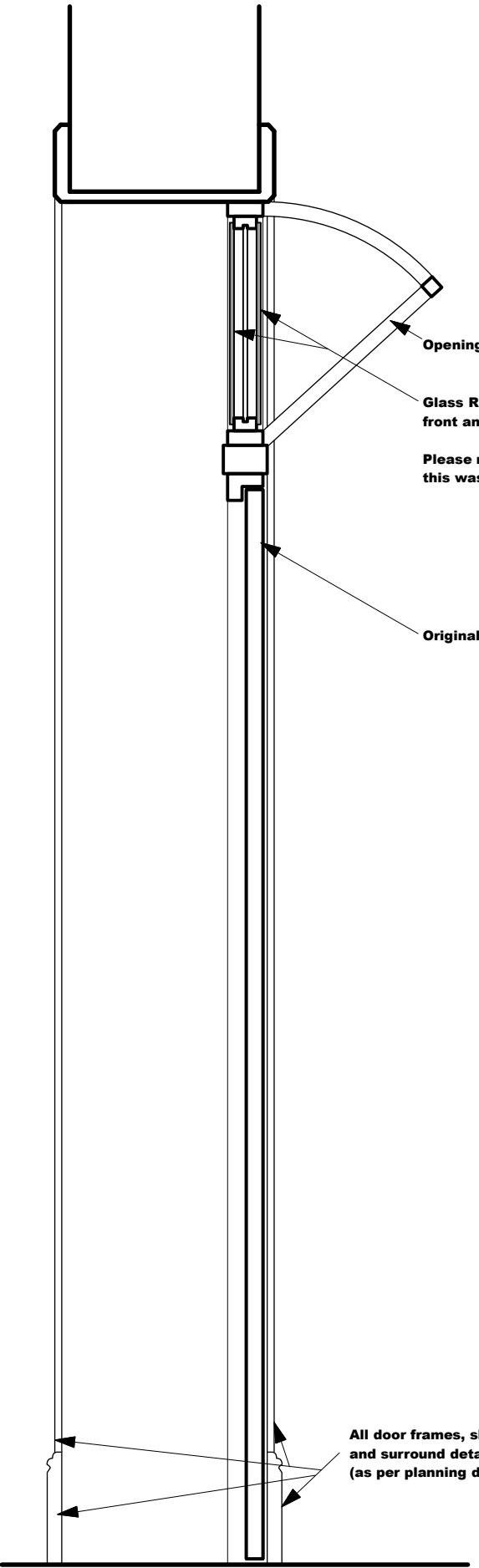
NEW HALL No. 04

Client	Next Big Thing Estates
Drawing No.	045_03_P029 Wall Types
Scale	1:10 @ A3
Status	Planning

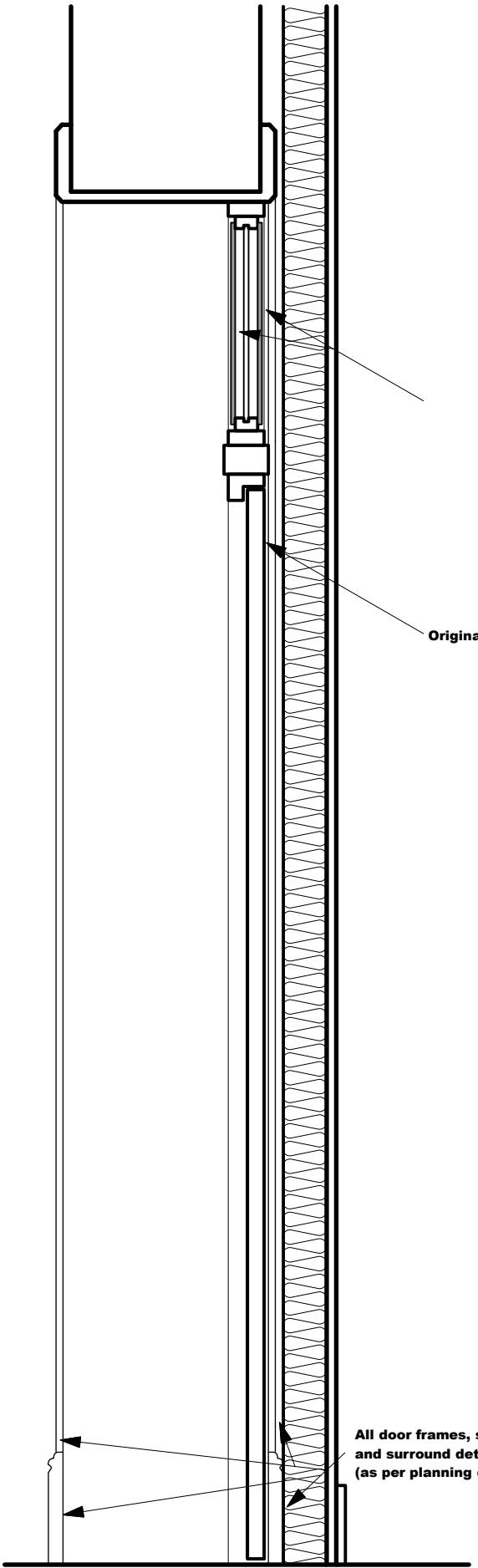
Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.



Existing



Proposed - Type 1



Proposed - Type 2

Note: Type 1 is relevant to all the doors with fanlights where they are maintained on the door schedule. The exception to this is:

D14 - The door & fanlight remain but the fanlight restrictor is removed- see type 2
D15 - The door & fanlight remain but the fanlight restrictor is removed- see type 2
D16 - The door is not required due to the proposed layouts and will be stored and fixed

Note: Type 2 is when the doors must be fixed shut with acoustic separation behind it. The doors will not be damaged or have any studwork fixed to them, just shut and locked. We also need to do this for the necessary fire compartmentation to the apartments.

NEW HALL No. 04	
Client	Next Big Thing Estates
Drawing No.	045_03_P030 • Fan Light Detail
Scale	1:10 @ A3
Status	Planning

Do not scale from this drawing. All dimensions are to be checked on site prior to commencing works on site. Any discrepancy found between information given on this drawing and that given elsewhere or recorded on site shall be notified immediately to the Client architect in writing.

