

# K. & J. WOODWARD

CHARTERED ARCHITECTS

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**No. 3 Blackwood Avenue, Woolton. Liverpool. L25 4RN**

## **Design & Access Statement.**

20thFebruary 2015.

Job no. 4593 – 3 Blackwood Avenue.

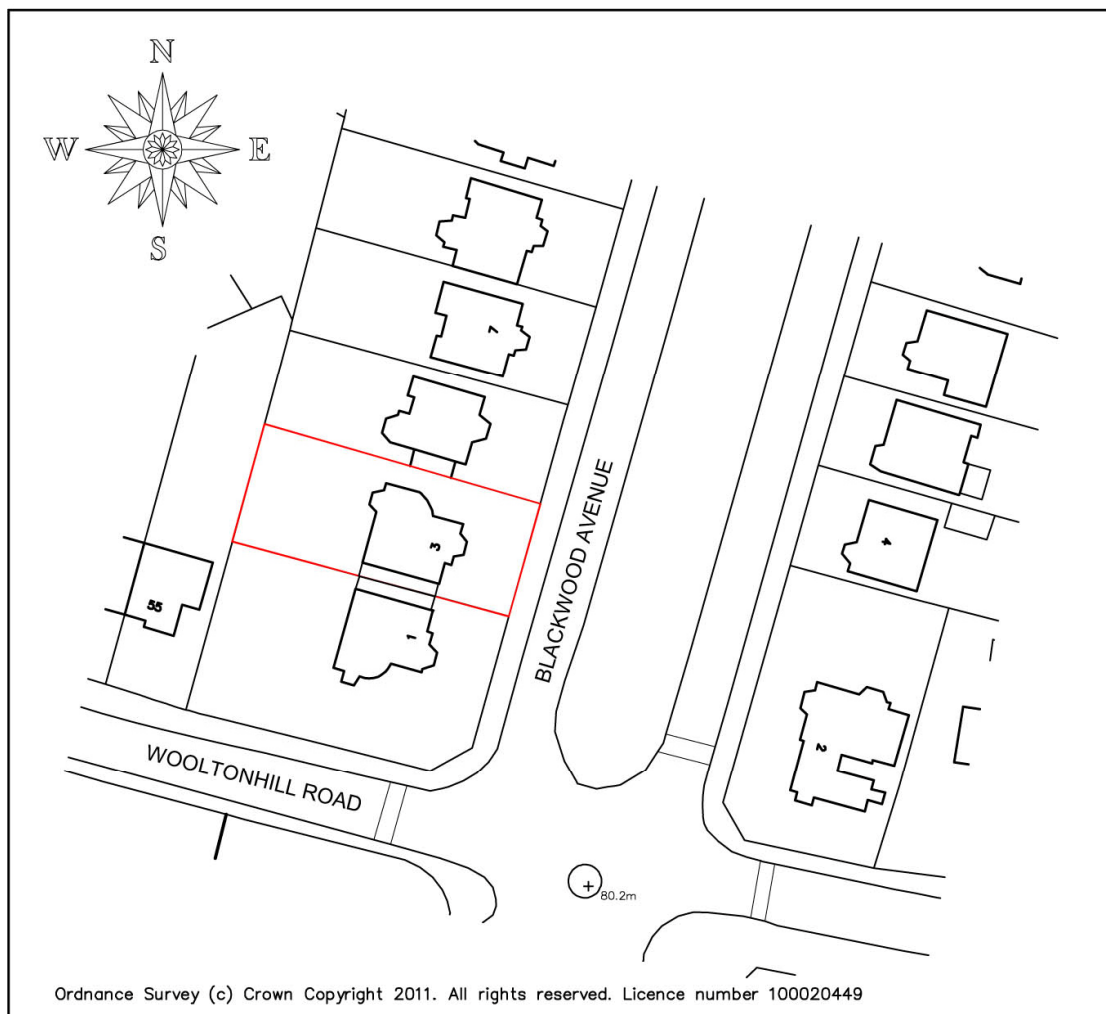
### Application:

Full planning application for proposed single storey side and rear extensions to the existing dwelling and dormer window to front elevation: No. 3 Blackwood Avenue, Woolton. Liverpool. L25 4RN.

### Context:

The existing dwelling is a 4 bed Two storey detached House situated on Blackwood Avenue, Woolton. The Road has two storey detached houses throughout.

No.1 Blackwood Avenue has a single storey side extension along the side boundary of the property (North elevation).



Location plan  
Scale 1:1250

## **Proposals:**

The proposals are to extend the dwelling to the rear at ground floor level removing the existing conservatory and replacing with a brick and glazed structure which will have a tiled roof and extend to the edge of the main building outline.

The existing side extension will be replaced with a new single storey side extension. The proposed side extension has the same footprint as the existing but will have cavity walls and a new tiled roof with rooflights.

Proposals to the first floor of the building will result in a new dormer window to be added to the front elevation.

## **Separation Distances:**

The proposed side extension replaces the existing structure and does not extend past the existing boundary or over the boundary line of No 1 Blackwood Avenue.

The proposed single storey rear extension adheres to the 45-degree code between neighbouring properties and separation distance.  
(Refer to drawing 4593-10)

## **Party Wall Assessment:**

### Side Extension:

No.1 Blackwood Avenue: Minimum interface distance is less than 3m to the boundary line and to No. 1 side extension. If foundation depth is deeper than the adjoining property we will notify No.1 of the foundation design.

### Rear Extension:

Minimum interface distance less than 3m to boundary line. We do not anticipate the foundations to go deeper than the neighbouring property, however if they do we will notify No.1 Blackwood Avenue of foundation design and intended work.

## **Materials:**

The proposed materials will be to match the existing dwelling.  
New windows will be upvc white finish to match the existing windows.

**Summary:**

We believe that the proposals accord fully with Liverpool Borough Council Planning Policy and are sympathetic & respectful of the area.

- The Proposals replace exiting structures and will not impact on separation distances.
- The dormer window to first floor front elevation to follow street scene as this has been done to the majority of houses along Blackwood Avenue.
- The materials are appropriate and match the existing property.