



EXISTING SITE PLAN (1:200)

PROPOSED SITE PLAN (1:200)

TRIM ROAD ABOVE SHOP SIGNAGE

ROOF AS NOTED

100+75 WALL NOTE

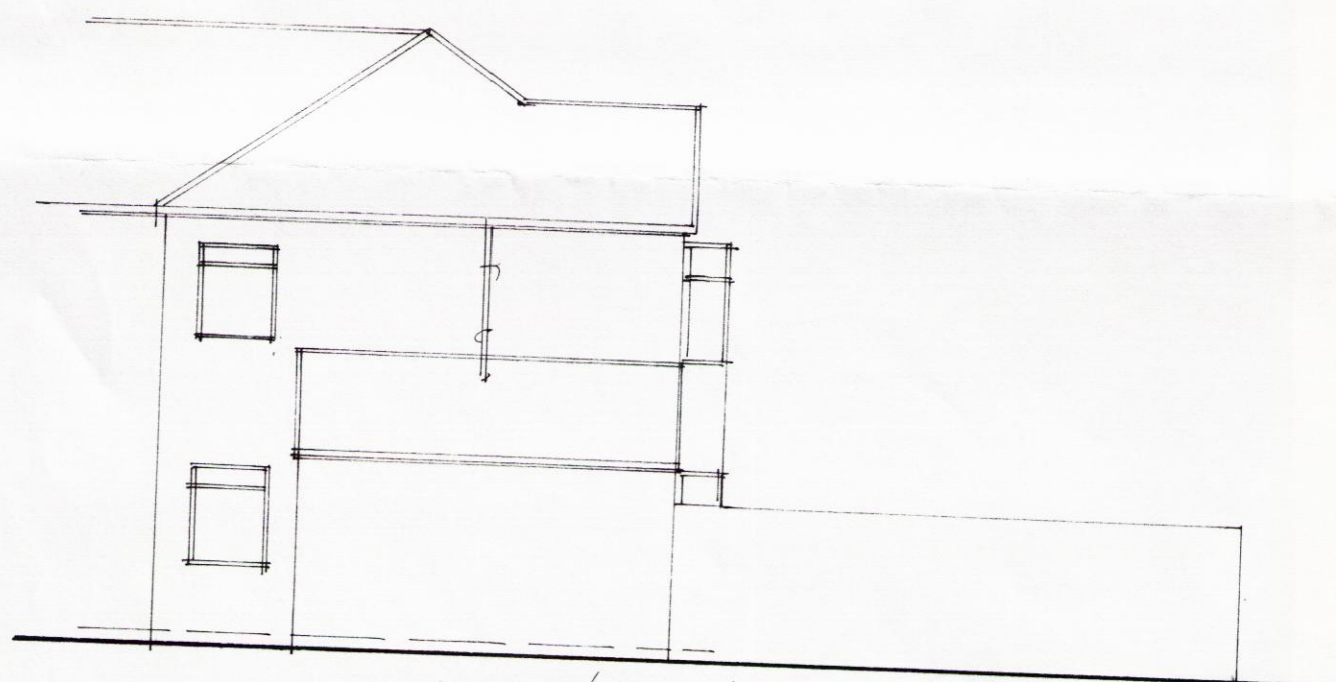
225+75 C24 @ 400/5

100+75 WALL NOTE

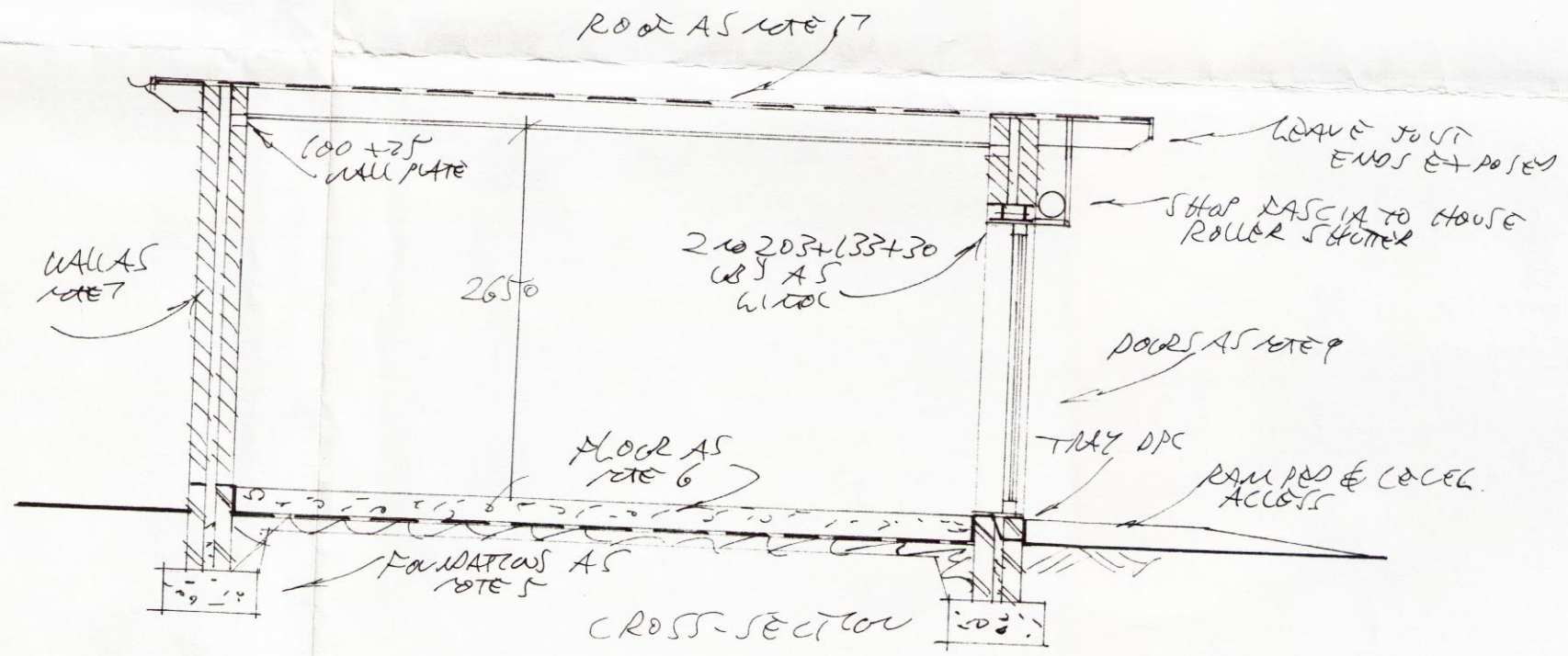
100+75 WALL NOTE

700 OVERHANG

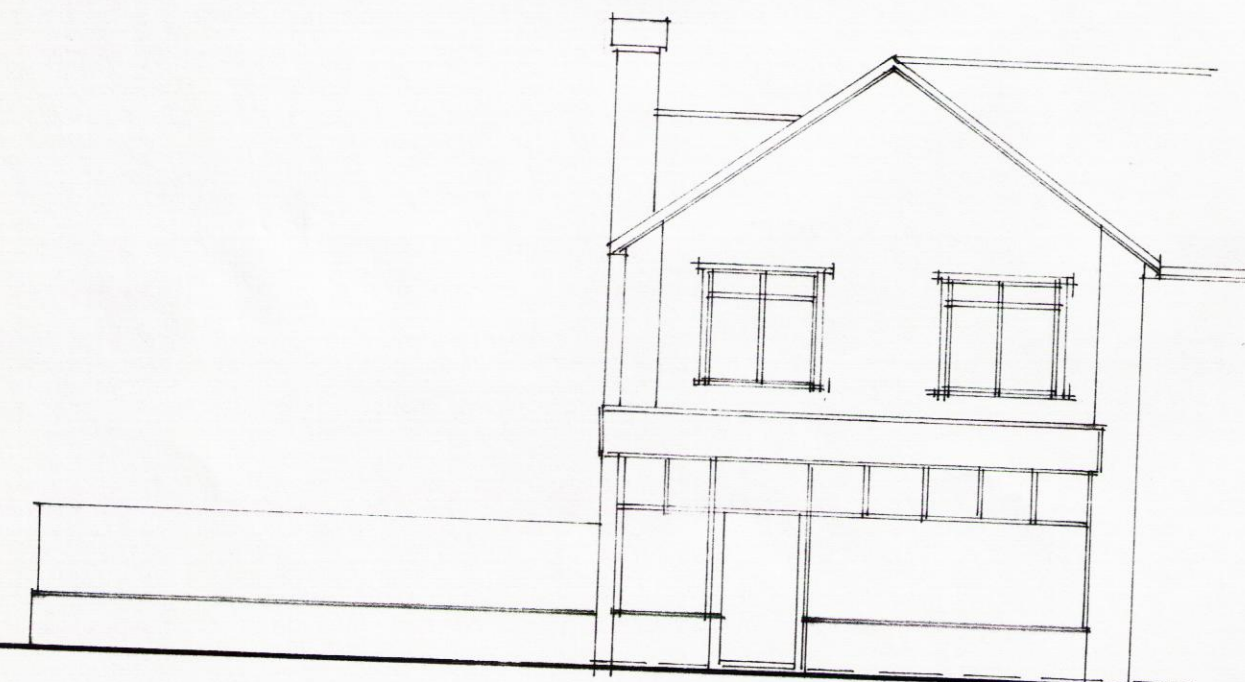
JOIST / ROAD PLAN



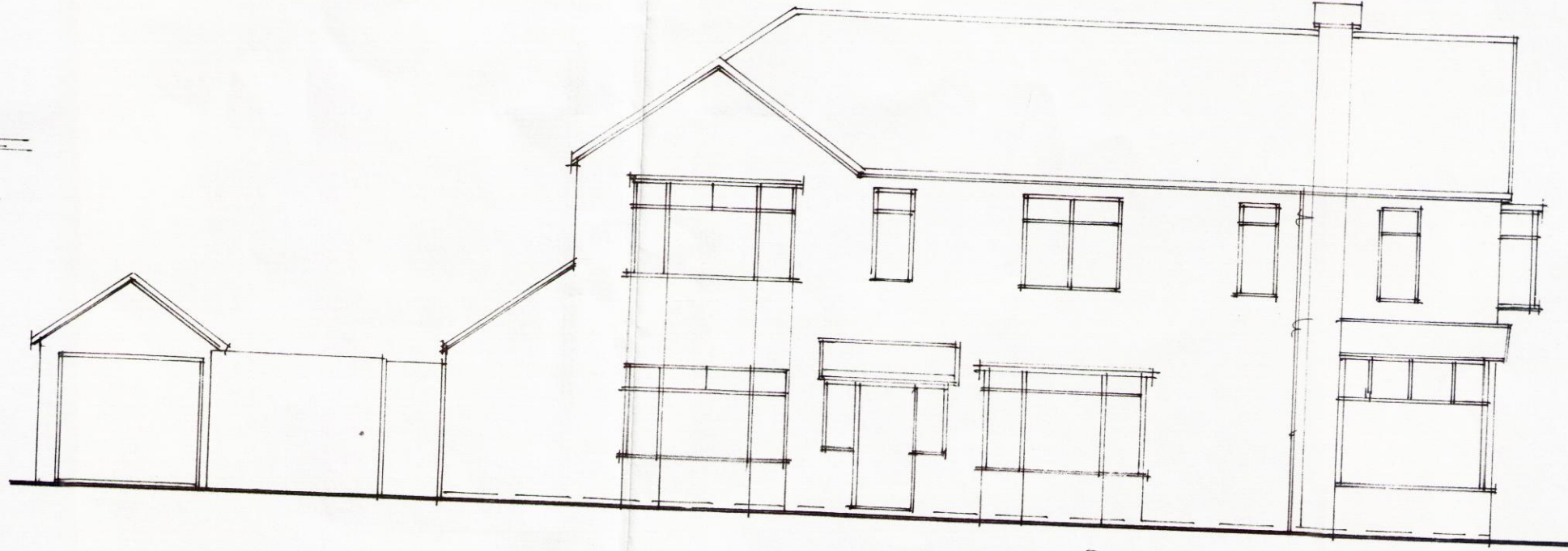
EXISTING REAR



CROSS-SECTION



EXISTING FRONT



EXISTING SIDE

NOTES

1. All work to comply with the town and country planning Act 1990, the Building regulations 2000, and all relevant Codes of practice, British and European standards. The party Wall act 1996, neighbouring consent to be sort for work on, at Or within 3m a the party wall or fence, 2mths notice required.
2. electrical work to be carried out to NIC EIC regulations with the position of and number of sockets and light fittings discussed and agreed with the client at the tendering stage. provide low energy light fittings, and work to comply with Parts P and M of the building regulations with work carried out by a Competent person, with certification provided.
3. central heating system is to be installed into proposed areas with the work carried out by a suitably qualified and corgi registered contractor, the position of radiators and the boiler is to be discussed and assessed before work commences on site and a price agreed. Insulate all new pipes and ducting as Part L1. boiler to be renewed a condensing type boiler, and Radiators to be fitted with thermostatic valves, and hot water Supply to be fitted with a device to restrict temperature to Not exceeding 48oc, and prior to completion a wholesome water Consumption calculation must be provided to local authority.
4. all dimensions are to be checked on site prior to work commencing and any discrepancies reported to designer. Please note that the drawings should not be scaled. If in doubt ask.
5. foundations to be min 1000mm deep, @ 600mm wide and to be min 225mm thickness of concrete, all to building control officers approval, brick cavity construction upto DPC with 110mm cavity, lean mix concrete fill to cavity to within 225m of ground level and DPC to be min 150mm above ground level and to lap with DPM. The conditions of the party wall act 1996 should be considered for excavations on or within 3000mm of a boundary, neighbours consent to be sort for all party wall work. Allow for the root progression of any adjoining trees, and any variation in ground levels, and drain inverts all to BCO approval on site.
6. ground floor slab to be min 125mm concrete with latex leveller or 75mm cement screed, 150mm Celotex FR4000 insulation below slab And 25mm perimeter insulation around slab edges on 1200 gauge polythene on 50mm sand blinding on min 150mm clean and well compacted hardcore. All vegetable matter to be removed from below slab areas. Allow for A252 mesh due to level of fill below slab and allow for ducting any existing air bricks through slab to new air bricks.
7. external walls 100mm rendered black as existing with 110mm cavity, 110mm full fill crown dritherm insulation, 100mm celcon solar or similar block inner leaf, with inner face dot and dabbed with 9.5mm plaster board and skimmed. Cavity ties to be stainless steel and spaced at max 750x450 c/cs. Allow for cavity trays to roof abutments etc, also insulated VdPC to all window/ door reveals, such as thermabate green or similar product.
8. lintols to be as noted on the plan and to have a min 300mm end bearing, and to be insulated to meet part L1/L2.
9. doors to be powder coated aluminium and to be double glazed, trickle vents to be provided to window heads equal to 8000mm squared. Laminated or toughened glass to be provided within 800mm of floor level for windows and 1500mm of floor level for doors and door side screens. Glazing to be K Glass with min 20mm double glazed units equal to min 1.4k W/M2 U Value.
10. rainwater goods to be 110mm half round guttering leading to 68mm dia rainwater downpipes. Adapt existing gutters to suit new, see plan for rwp positions.
11. drains to be as plan, laid to fall @ 1:40 and to connect to existing and to be UPVC, laid on 150mm pea gravel with min 150mm cover. All drains passing under proposed to be lintoled over and encased in 150mm concrete with joints left flexible.
12. all skirting and architraving to match existing, internal doors to be to clients choice.
13. internal stud walls to be 75x50 unless otherwise stated with 12.5mm plasterboard and skim finish, insulate with 100mm rockwool
14. all steel work to be encased in two layers of 12.5mm plasterboard and skim, and supported on concrete padstones min 2 courses deep with steels fixed together with diaphragm connectors 600/sc allow for the rebuilding of reveals in semi engineering brick min 7N
15. mechanical extract fan to be provided to kitchen equal to 60 litres per second and also to the WC equal to 3 air changes per hour with a 20 minute over run.
16. flashings and valleys to be in code 4 lead with min 150mm upstand.
17. Flat roof to be rubberoid or similar proprietary system. 225x75 C24 Joists @ 400c/cs cross battened with 165mm celotex insulation Over joists with 25mm ply and laid to fall @ 1:40 to the rear as roof Plan, with 12.5 mm Plasterboard and skim.
18. smoke detectors to be fitted and to be mains fed and linked, to BS5839, and allow for emergency lighting to BS5266, and exit signage To BS5499

DRAWING TITLE

166/2065
11/8/16
proposed new shop
adjacent to 229 Rose Lane

SCALE	1:200	DRAWING NO	EXISTING ELEVATIONS	REV
DATE	Nov 15		SITE PLAN	
			2012	