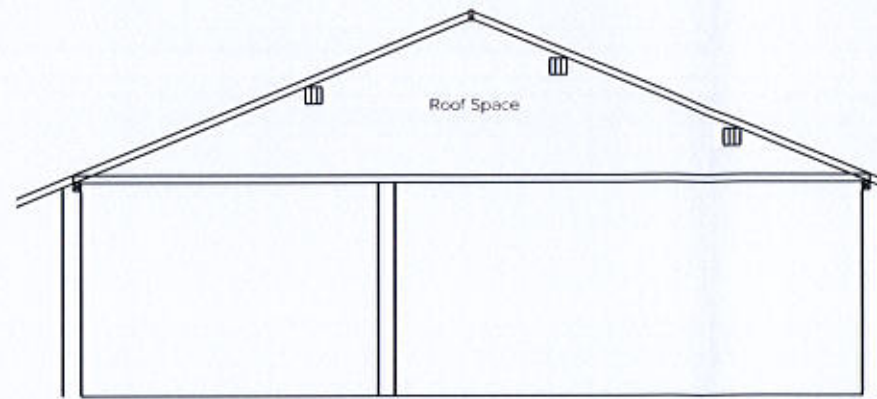
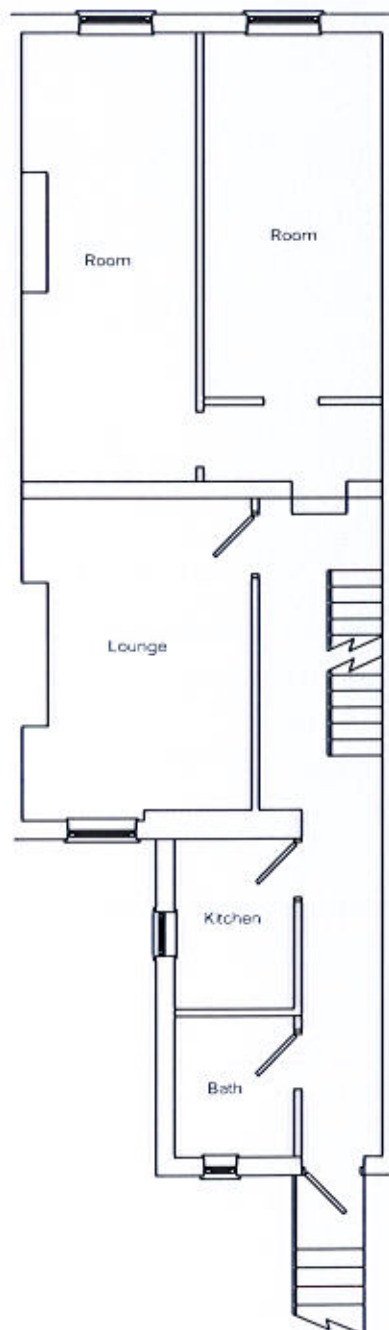
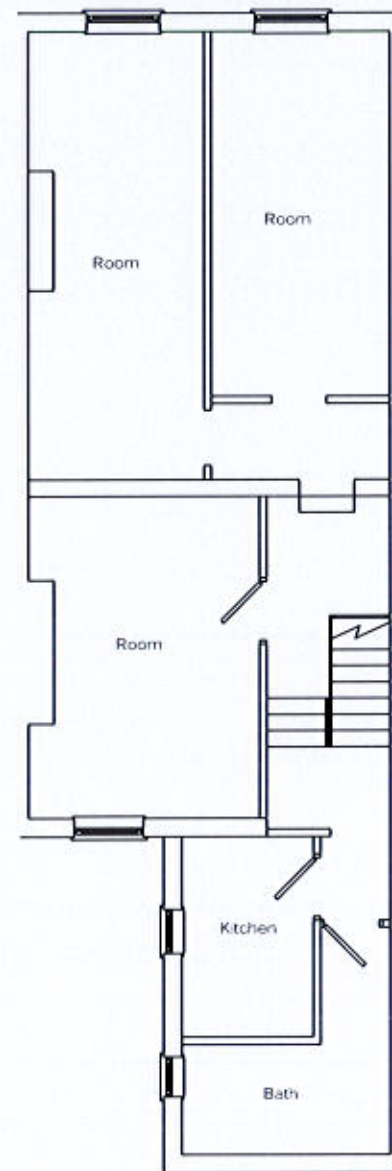




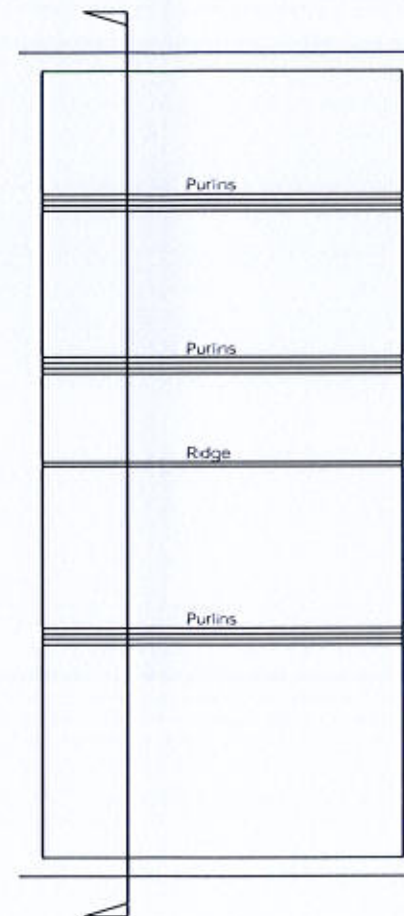
Existing Section



Existing First Floor Plan



Existing Second Floor Plan



Existing Loft Plan

16F/1012
14/4/16



Site Location Plan 1:1250

Address

289 Kensington
L7 2RG

Job Title

Conversion of Loft with Dormer
to Rear and Alteration Works
to Existing Dwelling.

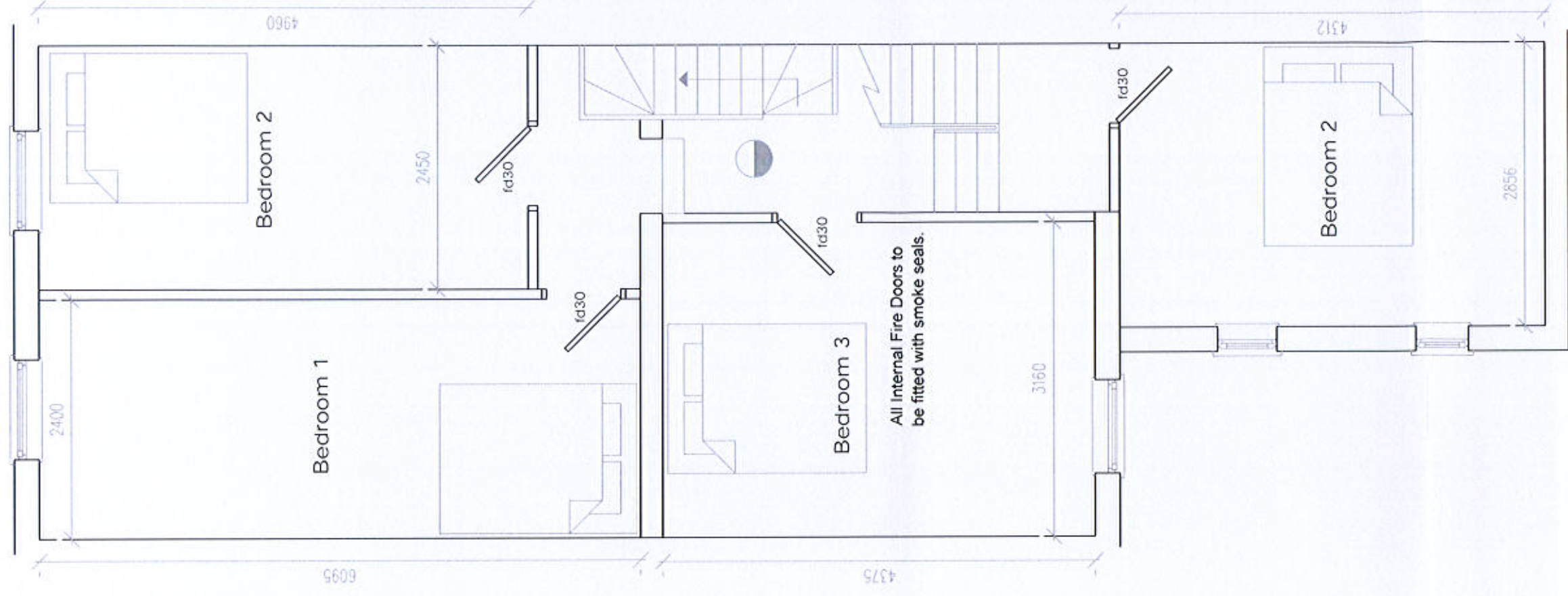
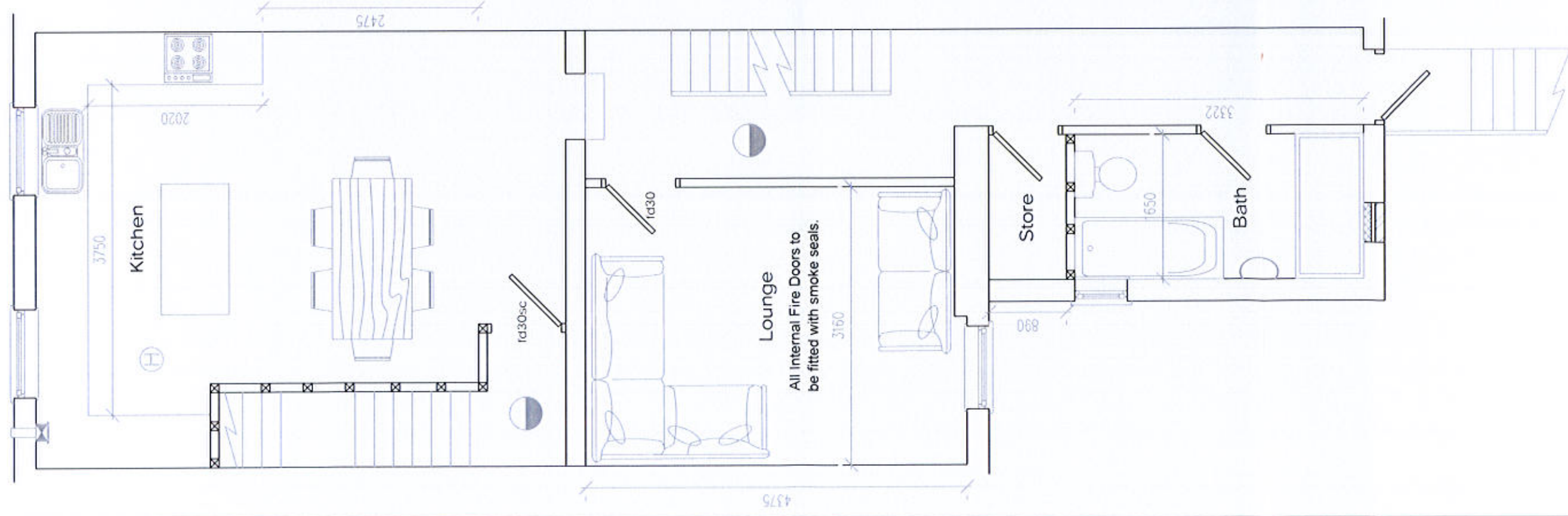
Drawing title

Existing Plans

J O'Rourke
Architecture

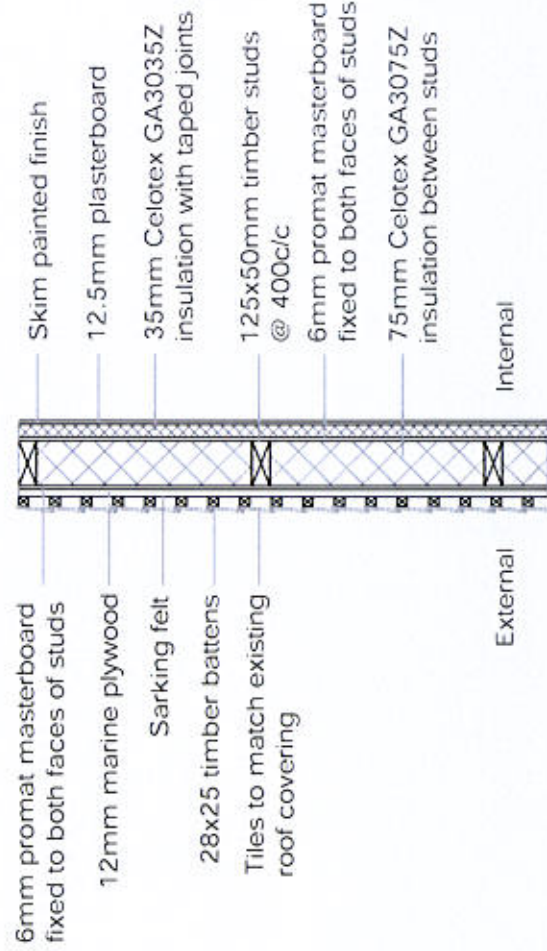
14 High Street, L15 8HG
Fax:0151 281 5955
Mob:07762259918

Chkd	Appvd	date Mar '16	scale 1:100 @ A3	drawn
DRAWING No				rev

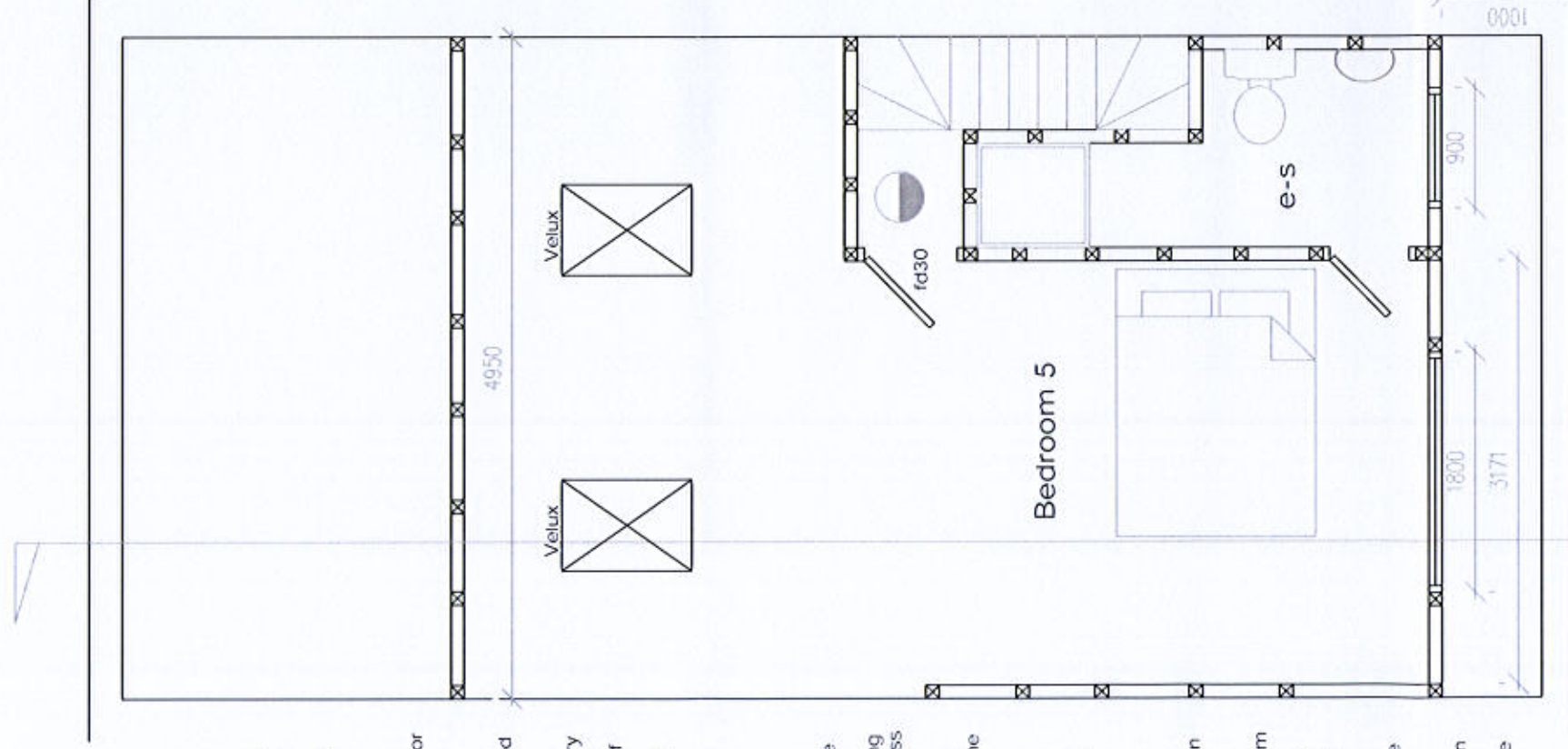


Proposed Second Floor Plan
 1:50 @ A3
 16F/1012
 14/4/16

Proposed First Floor Plan



Dormer Cheek Detail

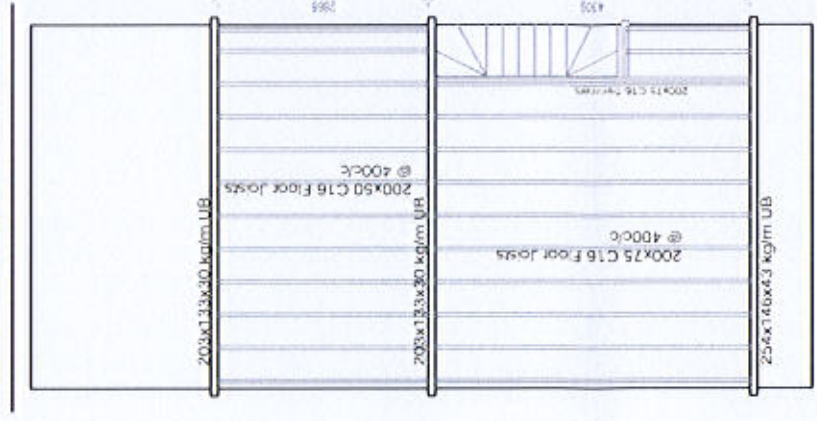


- SPECIAL CONSIDERATIONS**
1. All work is to be completed in accordance with the current building regulations, all relevant Codes of Practice and British Standards.
 2. All work is to be to the completed satisfaction of the Local Authority Building Control Officer.
 3. These drawings are not working drawings and should not be scaled for building purposes. All dimensions should be checked on site prior to commencement of works and any discrepancies that may arise reported to the architect/agent.
 4. It is the responsibility of the owner/builder to obtain any necessary neighbour consents and to notify the Local Authority of commencement of works.
 5. All elements of structure to have a minimum $\frac{1}{2}$ hour fire resistance.
 6. All roof and ceiling timbers to be stress graded and kilnstamped.
 7. Prior to any demolition works commencing, all structure to be adequately pinned and propped.
 8. First floor windows to have escape opening lights min 850 high x 500 wide max 1100 from floor. Any glazing in critical locations to have safety glass in accordance with Part N.

All electrical work required to meet the requirements of Part P (Electrical safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the council must be satisfied that either:

- A An electrical installation certificate issued under the Competent Person Scheme has been issued; or
- B Appropriate certificates and form defined in BS 7671 have been submitted that confirm that the work has been inspected and tested by a competent person. A competent person will have sound knowledge and experience relevant to the nature of the work undertaken and to the technical standards set down in BS 7671, be fully versed in the inspection and testing procedures contained in the regulations and employ adequate testing equipment.

Structural Floor Layout
1:100 @ A3



Address
**289 Kensington
L7 2RG**

Job Title
**Conversion of Loft with Dormer
to Rear and Alteration Works
to Existing Dwelling.**

Drawing title
Proposed Loft

J O'Rourke
Architecture

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**Proposed Loft Plan
1:50 @ A3**

16F/1012
14/4/16

Chkd	Appvd	date	scale	drawn	rev
		Mar '16	1:50 @ A3		
DRAWING No					

FLASHING, GUTTERS AND DOWNPIPS - aluminium painted or treated. Downpipes to be 100mm angled long slot downpipes with immediate quality ply soffit fixed into Gable ends or similar ventilator giving a 20mm air gap (area of ventilation to be not less than 0.3% of roof plan area served).
CAVITY TRAYS & FLASHING - 450mm wide D.P.C. cut to suit 150mm overlaps as early back to roof fall abutments. Code 5 lead to roof valleys on 15mm plywood valley.

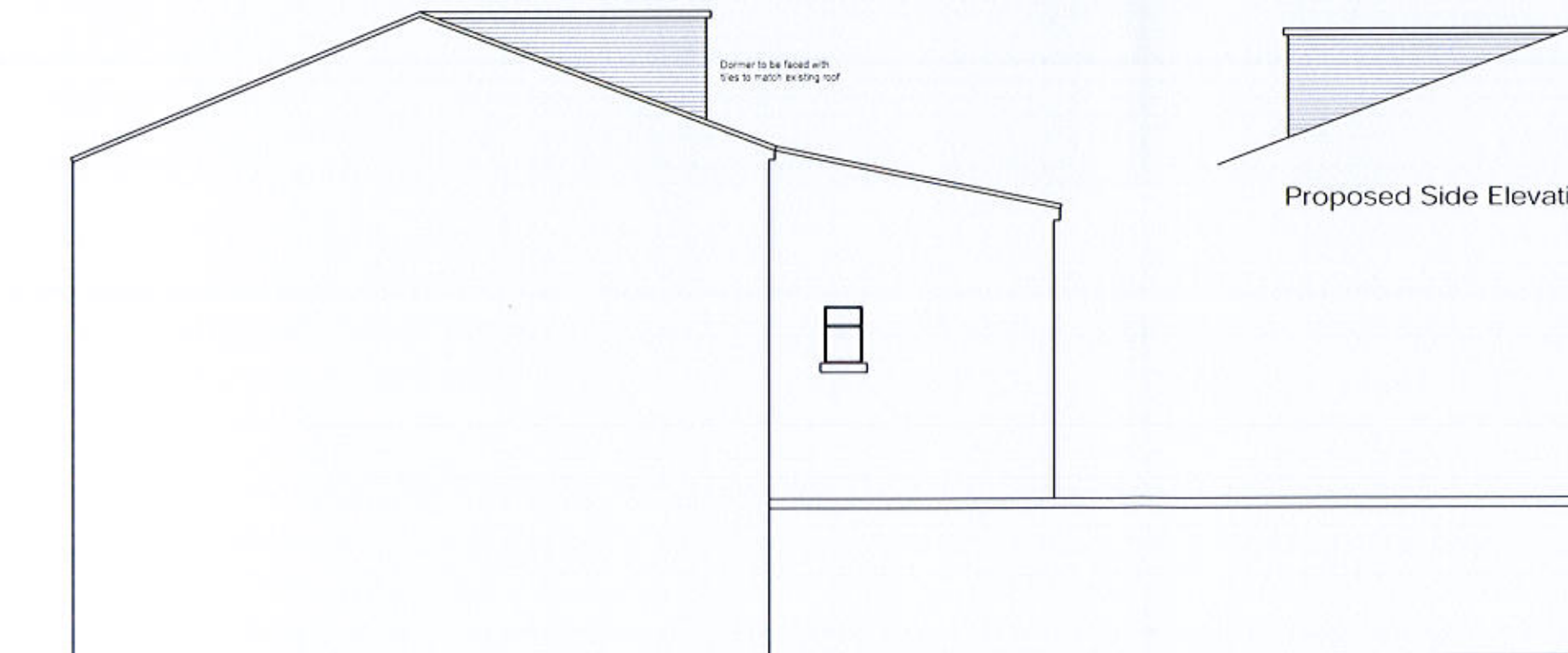


Proposed Front Elevation

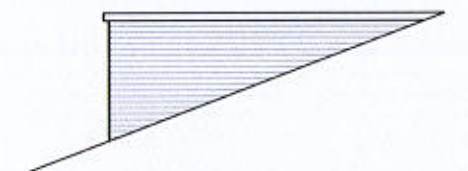


Proposed Rear Elevation

16F/1012
14/4/16



Proposed Side Elevation



Proposed Side Elevation

Address
289 Kensington
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Job Title
Conversion of Loft with Dormer
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to Existing Dwelling.

Drawing title
Proposed Elevations

J O'Rourke
Architecture

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Chkd	Appvd	date Mar '16	scale 1:100 @ A3	drawn
DRAWING No				rev