

# PLANNING.

ROOF  
ROOFING TILES TO MATCH EXISTING

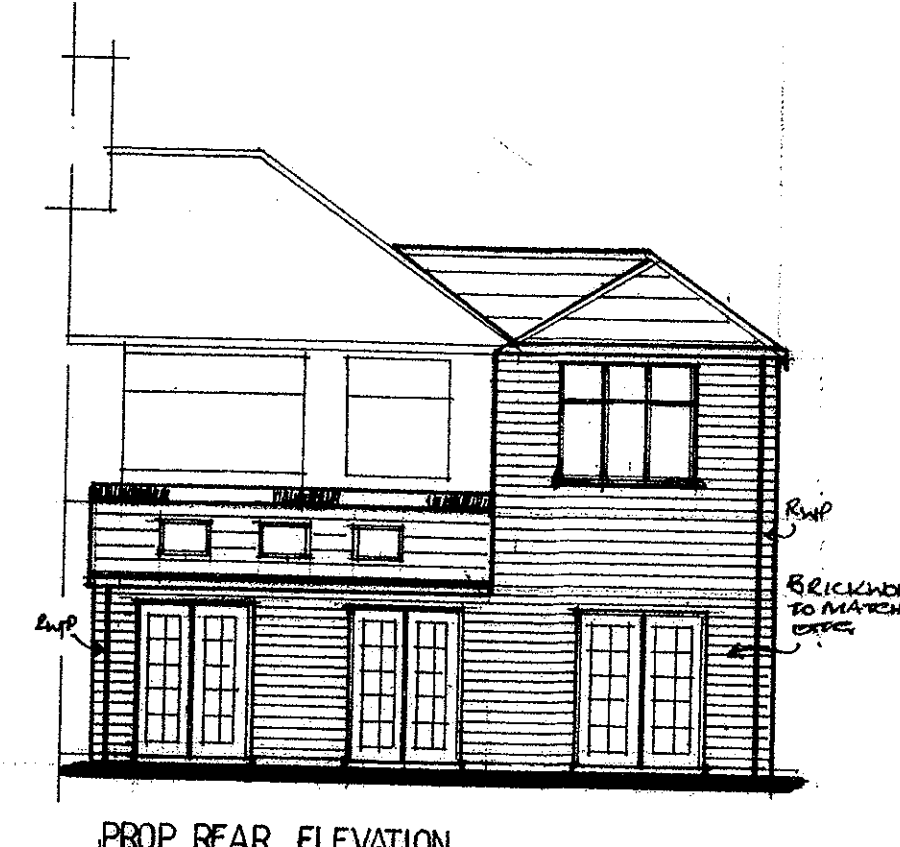
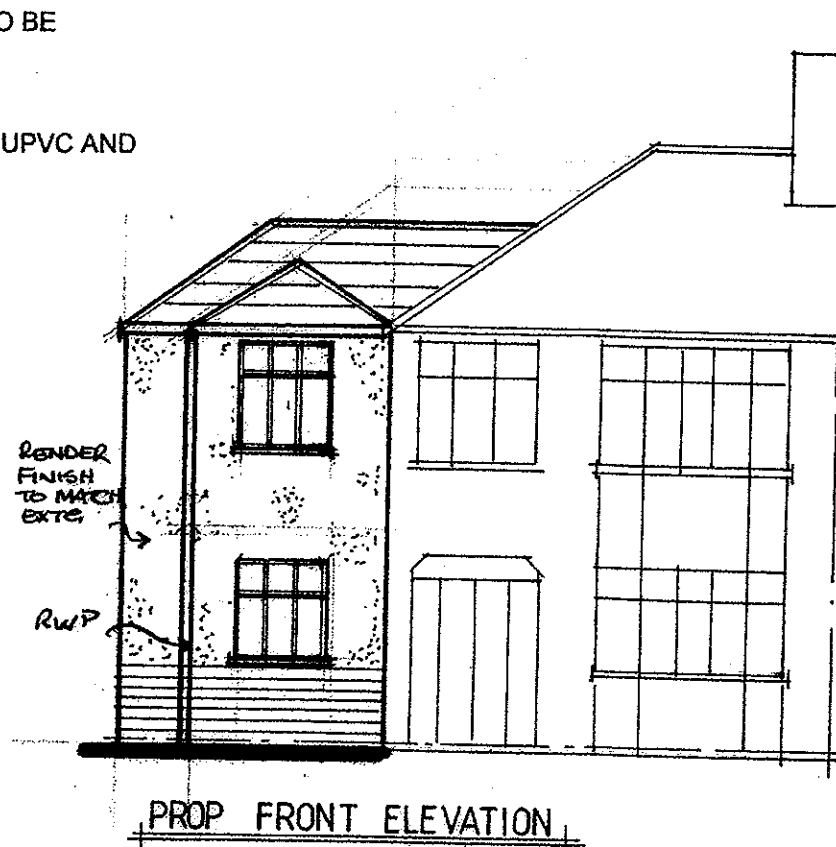
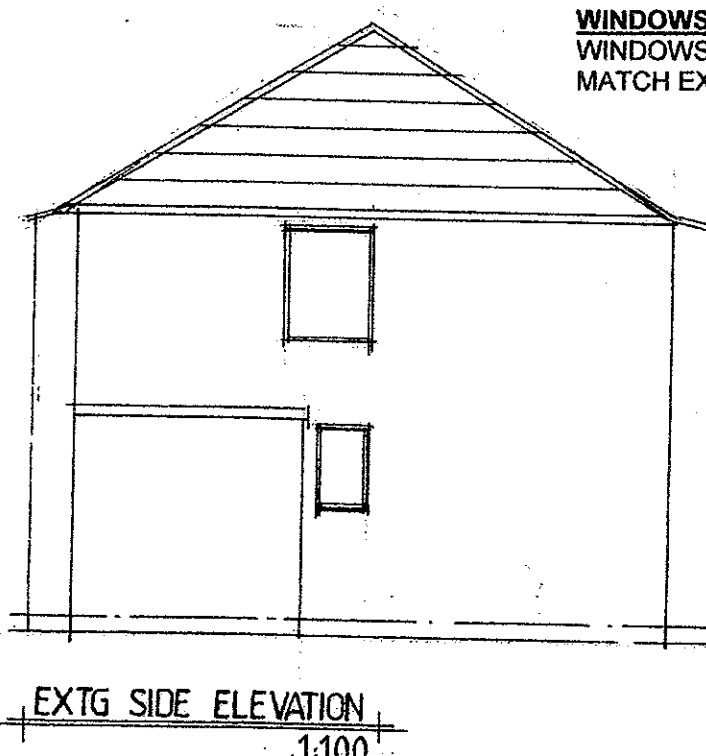
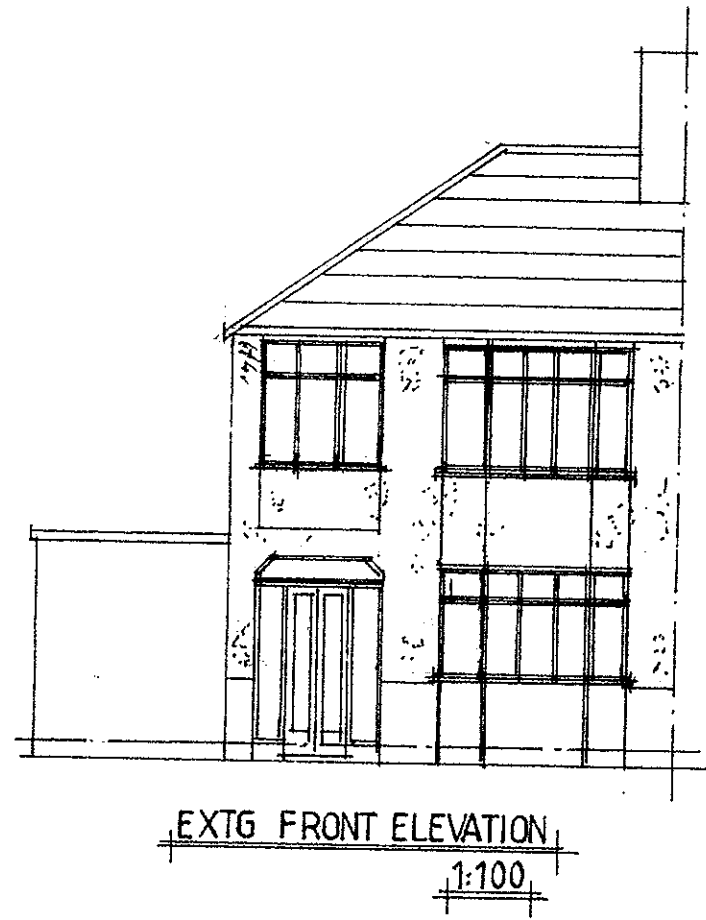
BRICKWORK/BLOCKWORK  
FACING BRICKWORK TO MATCH  
EXISTING COLOUR AND PROFILE

WINDOWS  
WINDOWS TO BE WHITE UPVC AND  
MATCH EXISTING.

BRICKWORK/BLOCKWORK  
EXTERNAL FINISH TO FRONT ELEVATIONS  
TO BE RENDER FINISH TO  
MATCH EXISTING

GLAZING  
GLAZING TO EN SUITE TO BE  
OBSCURE GLASS

WINDOWS  
WINDOWS TO BE WHITE UPVC AND  
MATCH EXISTING.



**PADSTONES.**  
Concrete padstones to be 300mm deep grade C30.  
**MORTAR MIXES.**  
Mortar mixes below dpc to be 1:0.4:3 mortar.  
Mortar mix above dpc to be 1:1:6.  
Concrete to be grade C30.

**FIRST FLOOR CONSTRUCTION.**  
22mm 12G boarding on 50 x 175mm s/w joists built into  
new external wall @ 450mm centres & joist hung from  
existing external walls with galvanised steel joist hangers.  
Underneath to be plastered in 12.5mm plasterboard & skim  
finished.

**MEANS OF ESCAPE.**  
Mains operated smoke alarms to be provided in circulation  
areas.  
Self contained units and where more than one is installed  
they shall be interconnected.

**MEANS OF ESCAPE WINDOW.**  
Opening area 750 x 450mm minimum to be provided in all  
new window configurations.

## TIMBER.

In order to satisfy Building Regulations all structural timbers  
used, must be strength graded and marked 'DRY' or 'KD'.

**INTERNAL WALLS.**  
Load bearing walls to be 100mm thick 3.5 N/mm<sup>2</sup> concrete  
blockwork built up off 450mm x 150mm thick concrete  
foundations. Non load bearing partitions to be Paracore.  
Partitions to bathrooms to have additional layer of 12.5mm  
plasterboard both sides.

**VENTILATION.**  
Bathroom- Provide mechanical ventilation capable of  
extracting 15 litres/second capacity with 15 minute overrun.  
Kitchen- Provide mechanical ventilation capable of  
extracting 60 litres/second.  
Utility- Provide mechanical ventilation, capable of extracting  
20litres/second with  
15 minute overrun.

## ELECTRICAL WORKS.

All electricals to be installed by competent person  
All new electrical works to be in accordance with BS 7671  
and an installation certificate to be issued on completion of  
the works.

**SURFACE WATER DRAINAGE.**  
Surface water to discharge minimum 5.00metres  
from the building where ground conditions permit.

**LIGHTING.**  
Provide energy efficient light fitting to 1 in 4  
Fixed light fitting.

Lighting to vaulted area of the extension to  
be surface mounted any recess lighting to  
be incorporated in the ceiling will require  
battening out the ceiling and to be fixed in accordance with  
manufacturers instructions.

Roof to have minimum pitch of 15° to  
incorporate Velux rooflights and roof  
tiles to be Marley Wessex or similar approved.

## STRUCTURAL.

All concrete works are to be carried out in accordance with BS 8110.

All masonry works to be carried out in accordance with BS 5628.

All steelwork to be carried out in accordance with BS 5950.

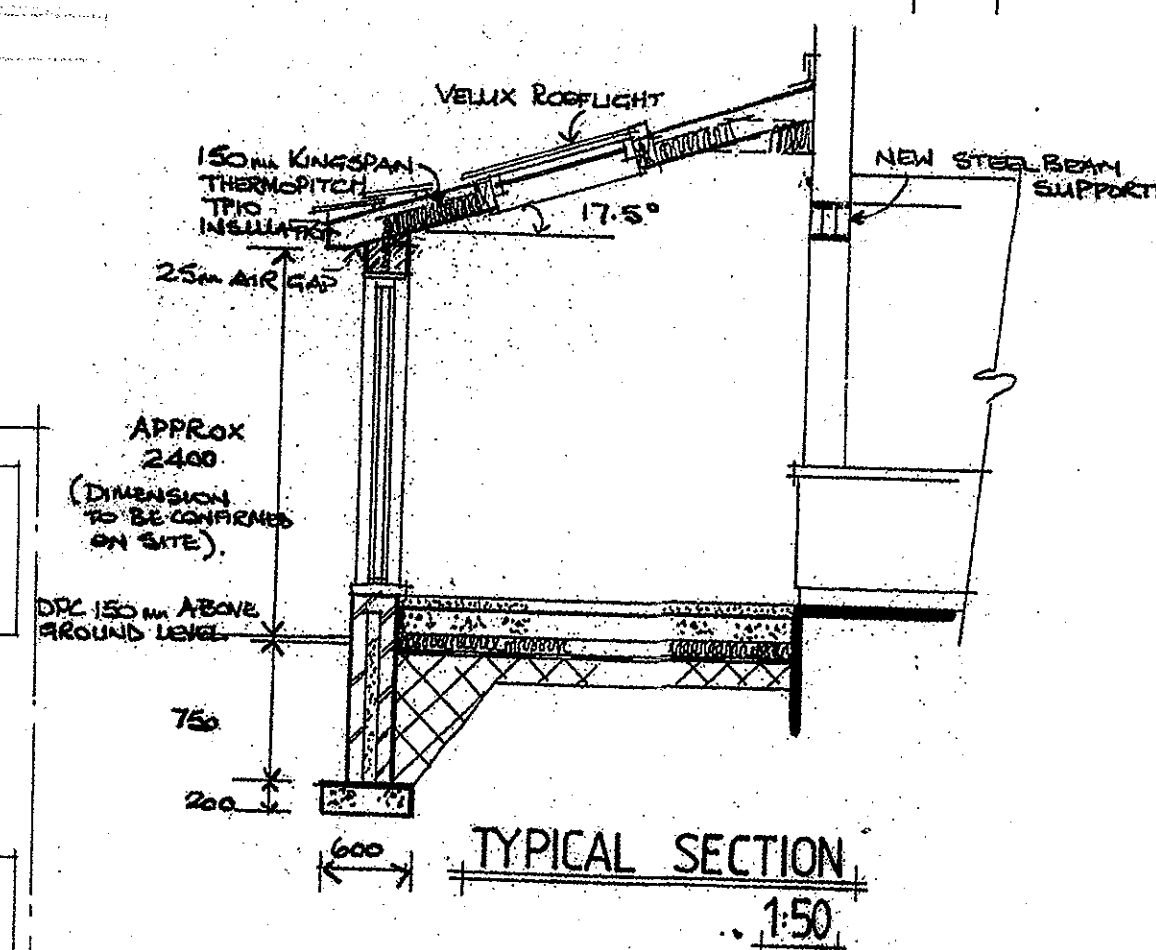
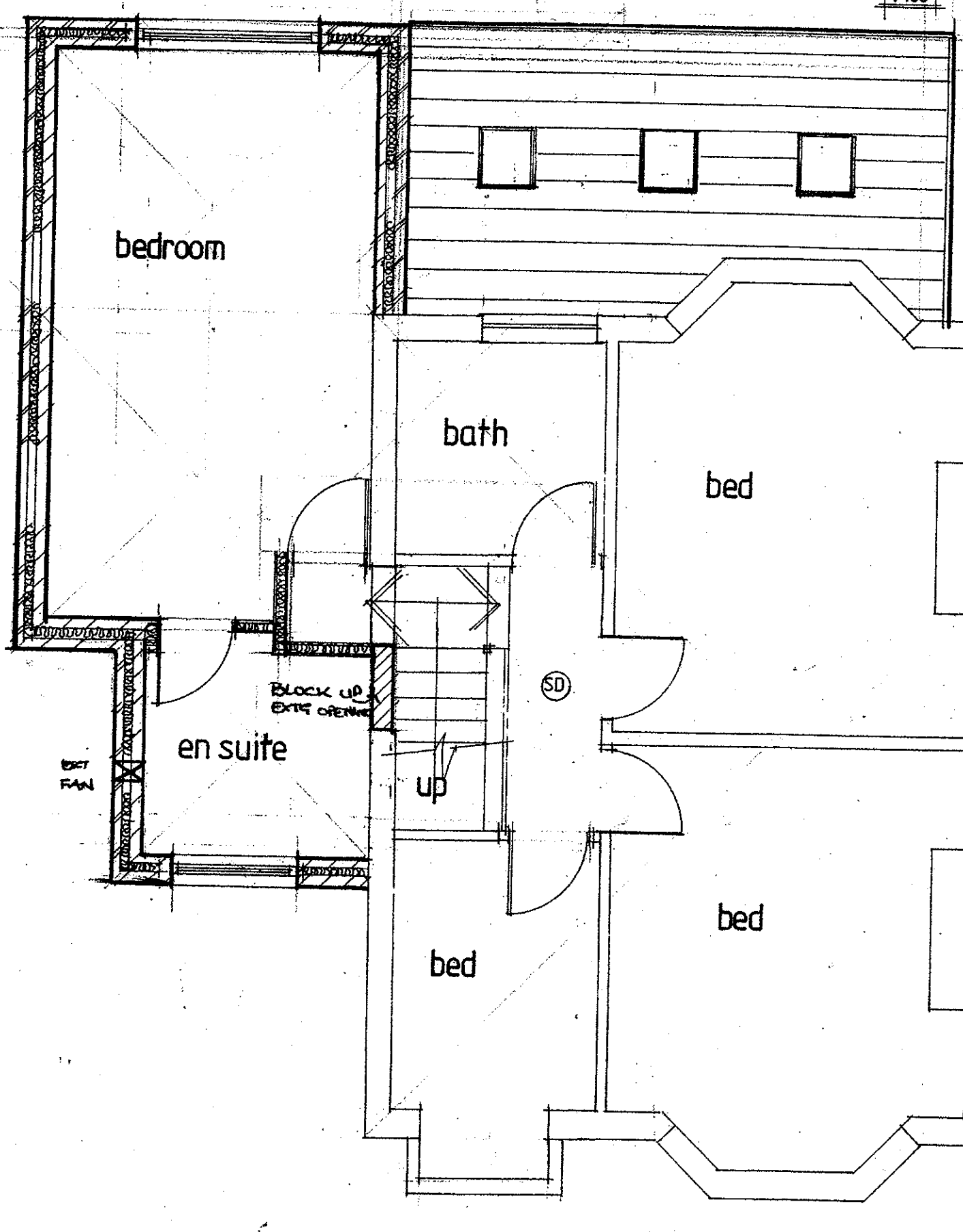
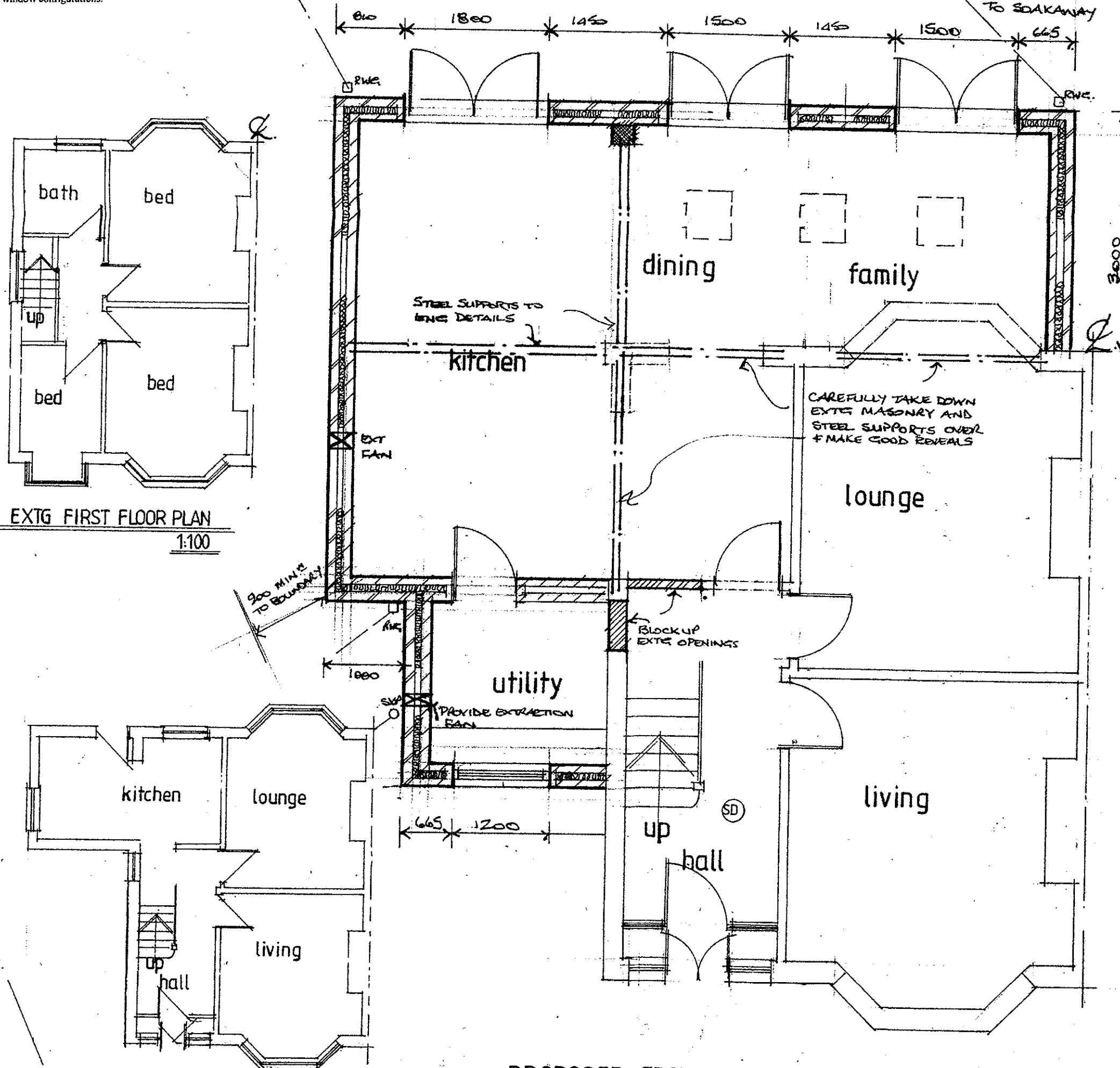
All timber to be in accordance with BS 5268

All new steelwork to be wired brushed and  
painted with 75 microns of red lead oxide galvanneal or similar approved.

All bolts to be grade 8.8 and minimum 16mm dia. Unless otherwise stated.

All welds to be in accordance with BS 4360.

All concrete padstones to be C30 grade concrete  
minimum 300mm long x 100mm wide x 150mm dp.



NOTES.  
DO NOT SCALE THESE DRAWING.

THE CONTRACTOR IS TO CHECK ALL SITE DIMENSIONS,  
LEVELS AND SEWERS INVERTS BEFORE WORKS COMMENCE.  
THESE DRAWING MUST BE CHECKED AND READ AGAINST ANY  
STRUCTURAL OR CONSULTANT DRAWINGS.

THE CONTRACTOR IS TO COMPLY IN ALL RESPECTS WITH  
CURRENT BUILDING REGULATIONS AND B.S. CODES OF  
PRACTICE WHETHER OR NOT SPECIFICALLY STATED ON  
THESE DRAWINGS.  
THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF  
FOUNDATIONS, GROUND CONDITIONS OR GROUND  
CONTAMINANTS AND CONFIRMATION AND/OR  
INVESTIGATION IS TO BE CARRIED OUT BY SUITABLE EXPERTS.  
ALL WORKS INVOLVED ADJACENT TO THE BOUNDARY OR THAT  
AFFECTS THE ADJACENT PROPERTY SHOULD ONLY BE  
COMMENCED SUBJECT TO SERVING ALL NOTICES ETC. ON THE  
ADJACENT OWNERS A SATISFYING THE PROCEDURAL  
REQUIREMENT OF THE PARTY WALL ACT 1996.

CONTRACTOR TO BE RESPONSIBLE FOR ALL PROPPING AND  
SHORING OF ALL OPENINGS OF THE PROPERTY AND WHERE  
STRUCTURAL WORKS ARE TO BE UNDERTAKEN.

## NOTES.

All works to the total satisfaction of the Local Authority  
Building Control Officer and in accordance with approved  
documents of Building Regulations as amended.

## MAIN ROOF.

Roof tiles to match existing on 38mm x 25mm s/w battens on  
'Tyvek' vapour permeable roofing felt on 50 x 175mm  
rafters @ 450mm c/c bearing on 75 x 100mm s/w wallplate  
& nailed at top to 38 x 175mm ridge board.  
Provide 50 x 225mm timber hip rafters.  
Provide 25 x 175mm cold 6 lead lined valley boards.  
Ceiling joists to be 47 x 150mm @ 450 c/c fixed to rafters &  
bearing on 50 x 150mm s/w hangers. Underneath to be plastered  
in 12.5mm plasterboard & skim finished.  
Roof void to be insulated in 300mm fibreglass quilt.  
Provide ventilation to roof space via roof vent tiles &  
proprietary eaves ventilators giving equivalent 10mm  
continuous space.  
Provide 5 x 38 x 900mm long mild steel restraint straps, fixed  
over wallplate & fixed to wall at max 2m c/c.  
Provide 19mm externally quality plywood fascia board &  
soffit at eaves, to receive 100mm upvc half round gutter,  
draining to 68mm dia. rvp.

## FLOORS.

75mm sand/cement screed on 150mm concrete slab on  
100mm 'Kingspan' insulation on 1200 gauge visqueen dpm  
on sand bladed hardcore in well compacted layers. Dpm to  
lap Dpc.  
Provide 25mm styrofoam to perimeter of slab & screed at  
external walls, to prevent cold bridge. Where applicable, lay  
air pipes in slab connecting existing air bricks to new to  
continue sub floor ventilation. Provide 'U' Value of 0.22  
W/m<sup>2</sup> degree C.

## VAULTED ROOF.

Roof tiles to match existing on 38mm x 25mm s/w battens on  
'Tyvek' vapour permeable roofing felt on 50 x 200mm rafters  
@ 450mm c/c bearing on 75 x 100mm s/w wallplate &  
nailed at top to 38 x 175mm ridge board.  
and birdsmouthed at wallplate.  
Provide 25 x 175mm collar tie at 2/3 rafter length.  
Underneath to be plastered in 12.5mm plasterboard & skim  
finished.  
Roof void to be insulated in 150mm 'Kingspan' insulation  
between rafters to provide 'U' Value of 0.18 W/m<sup>2</sup> degree C.  
Provide 5 x 38 x 900mm long mild steel restraint straps, fixed  
over wallplate & fixed to wall at max 2m c/c.  
Provide 19mm externally quality plywood fascia board &  
soffit at eaves, to receive 100mm upvc half round gutter,  
draining to 68mm dia. rvp.  
Incorporate Velux rooflights to manufacturers specification to  
trimmed out roof rafters.

## FOUNDATIONS.

Traditional strip footings to be 600mm wide x 200mm deep  
to have approx. depth of 900mm. Foundations to suit ground  
conditions & to comply with L.A.B.C.O.  
\*It may be prudent to underpin existing foundations where  
proposed and existing join and to new brick piers supporting  
new steel UP's.

## WALLS.

100mm Dense concrete blockwork outerleaf (100mm Facing  
brick), 100mm full fill cavity with rockwool insulation &  
100mm thermatech block inner leaf to give overall 'U' value  
of 0.28 W/m<sup>2</sup> deg.C.  
Plaster and skim internally.  
Continue cavity with existing where possible, otherwise use  
Trusline crosswall clip wall connectors, or similar approved,  
bonded every 3rd course.  
Provide weak splayed concrete cavity fill a minimum 150mm  
below dpc, level with slated vertical twist wall ties at  
maximum 450mm c/c vertically and 900mm horizontally &  
to be staggered at door and window openings. Stagger to be  
300mm.  
Ties to be in accordance with BS 1243 and to be inclined to  
outer leaf.

Provide Hyload dpc, or similar approved, a minimum  
150mm above ground level.  
Install I.C. slated finches (type L1-S/80 with cavity tray over)  
or similar approved, above all new door and window  
openings on external walls.  
Provide 5 x 38 x 900mm long m/steel restraint straps fixed  
across 3No rafters,  
where rafters run parallel to wall. Allow for noggins between  
rafters.  
Cavity to be closed at openings with 'Thermabate' insulated  
cavity closers by damcon.  
Cavity to be closed at head with supalux.  
Use Domicore vertical dpc's to all new external openings.  
Provide weep holes at max. 900mm c/c above ground level  
and above cavity tray  
dpc's (a min. 3No/ opening is required).

## SANITARY.

All new fittings to have 75mm deep seal traps or re-sealing  
traps, if sink is more than 3.2m from gully/sink to also have  
38mm dia. waste.  
Excise all drains under building in 150mm concrete  
surround.  
All new drains are to be 100mm dia. approved type, to falls  
of 1 in 40.

## WINDOWS.

Window areas of habitable rooms to be 1/10th floor area and  
to be fitted with trickle ventilation or facility to give total  
ventilation not less than 8000mm<sup>3</sup>.  
Window openings to be 1/20th floor area.  
All new openings are to be fully draught proof.  
All new windows are to be double glazed, with a 16mm gap,  
and in frames to match existing. Incorporating K glass.  
Achieve 'U' Value 1.6 W/m<sup>2</sup> degC.

## GLAZING.

All areas of glazed doors that are within 1500mm of finished  
floor level and side panels that are within 300mm of the  
doors and windows or glazed partitions that are within  
800mm of finished floor level shall be toughened glass with a  
minimum thickness of 6.4mm to B.S.6262 and in accordance with  
part 'M' of Building Regulations.

REVISION	AMENDMENT	DATE
CLIENT		
DRAWING TITLE		
TWO STOREY SIDE AND REAR EXTENSION AND SINGLE STOREY REAR EXTENSION		
2 ROCKSIDE ROAD, ALLERTON, LIVERPOOL L18 4PL		
SCALE shown DATE jan'16	DRAWING No. 1002/16/01	REV.

164/0564  
25/2/16.