

Design Statement – Beechley House, Liverpool (DS-C)

1.Existing Site and Setting

The Beechley House, Calderstones, Liverpool is situated 6 miles East of Liverpool city centre. The site comprises of Beechley House a two storey large grade II listed building used most recently as a care home. To the rear of Beechley House there are two stable buildings one single storey and one larger two storey building, and a single storey summer house which is linked to Beechley House via a single storey walkway. To the West of Beechley House is a large equestrian structure that is used by the stables for horse riding lessons. All the buildings are set within a large area of grassland, ornate gardens and heavily tree lined setting throughout the site.

The site is enclosed to the South, West and East with a high red brick wall, and access onto the site is at two points off Harthill Road. The main entrance to Beechley House leads onto a carriage drive entrance that circles up to the main entrance of Beechley House. The other access off Harthill Road leads straight onto the stables courtyard.

2. Beechley House

Beechley House was constructed in 1835-6 for John Marriot a cotton broker, within the setting of Calderstones Park Liverpool. Initially with a square plan form with the principal entrance orientated to the south-west. The house is accessed through a pair of ashlar red sandstone gate piers and associated wall, which are separately listed as grade II, which lead to a carriage drive that is enclosed by mature trees, including several large Yew trees. The house is faced in painted, scored, stucco and is two storeys in height. The front elevation is of three bays, centred on a projecting porch, supported by Ionic columns. The window treatment is almost symmetrical. The house was extended to the north west with a further stucco bay with matching fluted corner pilasters. The extension was constructed between 1849/50 and 1894. At that time a large rear element, presumably a service wing, projected from the north-east elevation and this was subsequently replaced with the existing light yellow brick late C19th / early C20th service wing. Internally, the phasing of the building can be partly understood from the changes in level, and corresponding stairs, and variations in ceiling heights to the interior.



South Front Elevation



East Side Elevation

3. Beechley Stables

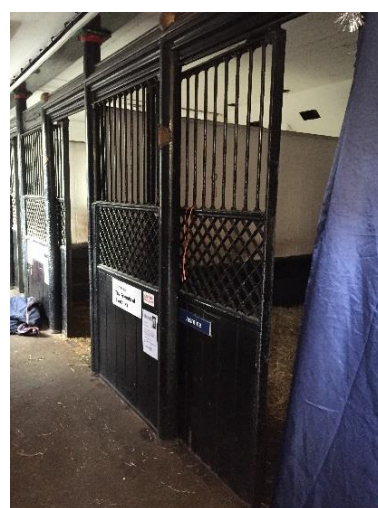
Beechley Stables are separately listed at grade II and are located immediately to the North of the service wing and comprise a coach-house, stable block and coachman's cottage. The list description dates them c. 1836-46. The stable is based on an asymmetrical 'F' shaped plan with two projecting bays facing the stable yard. It is 19th century constructed from red brick, with yellow headers, in a Flemish bond, and architecturally is distinguished from the main house as a secondary service part of the estate. The building was restored during the 1980s, prior to being listed, and has lost some of its authenticity. However, inside the left-hand range the ground floor still retains four horseboxes with diamond-latticed cast-iron walls and sliding doors.



South Elevation of Stables



Hallmark detailing on Iron Gates



Cast Iron sliding gates

4. Summer House

A single storey buff brick cottage located adjacent to the north-east boundary of the Beechley Grounds constructed in 1850. With a later addition that connects to Beechley house via an enclosed single storey curved passageway.



View of Summer House from Beechley House window



Summer House Front Elevation

5. Heritage Considerations

- Access via Harthill Road and the gateways and stone boundary wall to the South, West and North of the site.
- The carriage drive up to Beechley House its tree setting and approach to the building.
- Ornate front and side gardens to East and North of Beechley House.
- The Ha Ha situated to the East of Beechley House.
- The sliding historic cast iron stable gates that separate the stable horse stalls.
- The original tack room cupboards and hooks.
- The construction phasing of Beechley House. The house was constructed in 3 distinct phases of development. The original build was constructed in 1835-6, enlarged at a later date then in the early 20th century a further buff brick section added to the rear of the building.
- Ornate detailing in key principle rooms within Beechley House; Parlour room, drawing room, dining room, main staircase to ground and first floor and the 3 grand bedrooms to the East of Beechley House.
- Enclosed character of the cobbled courtyard outside the stables.

6. Beechley House Heritage Design Opportunities

- Revitalise the grand rooms to Beechley House: Parlour room, staircase hallway, dining room and drawing room and grand bedrooms.
- Re-establish the staircase and re open the first floor landing the whole way around the lobby area.
- Retain as many original features as possible, cornicing, fire places, original internal walls, ceiling detailing, and where walls are removed keep nibs of walls to show where they were originally.
- Respect the three different phases of the buildings history. The first phase of the buildings history being the most important.
- Reduce the number of modern internal walls to key rooms that have been added at a later date.
- Remove the two unsightly metal fire escape staircases that are on the corners of the rear of Beechley House Elevations.
- Removal of incongruous modern curved link walkway between Beechley house and the summer house that is a negative impact and by removing it helps reinstate the ornate gardens to the North of the site.
- Retain and enhance the former carriage route from Beechley house to the stables by creating a strong link between the buildings.
- Consider the level changes through the building that occurred through the different phase builds of Beechley House.
- Removal and sensitive redevelopment of arena (equestrian structure) that is currently used as a horse riding teaching area
- Reemphasise and open the link between Beechley House carriage way and the stables courtyard.

- To create a design that respects the existing buildings and offers good aspect views out over the grounds.

Existing Plan - Design Considerations



7. The Stables Heritage Design Opportunities

- Retain and revitalise the existing cast iron sliding doors as a feature within the scheme.
- Maintain external doors and windows wherever possible.
- Use existing key wall lines through the stables as areas to split the plots up.
- Utilise front pods to the stables as new vertical circulation to Plot 3 and 4. And reuse existing staircase for in Plot 2.
- All aspect views in each plot to face out on to the cobbled courtyard.
- New rear elevation windows to be of contrasting design.

Existing Ground & First Floor Plan - Design Considerations



8. The Summer House Heritage Design Opportunities

- Retain and refurbish, after the loss of the modern incongruous corridor link to re-establish the side gardens and enhance the setting of Beechley House.

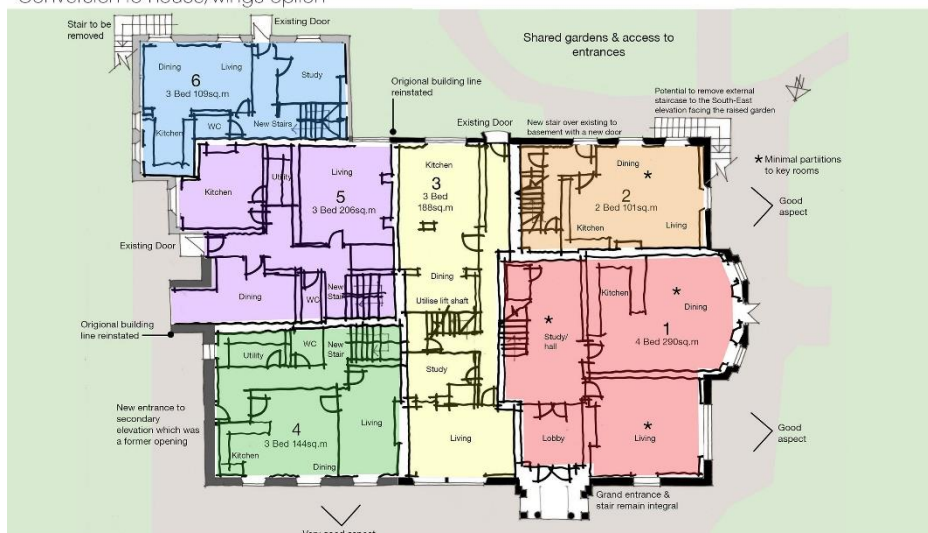
9. Beechley House Proposals

When originally deciding how to go about the design proposals we considered the possibilities of turning Beechley House into houses or apartments. - Through major design development and consultation with planning officer Caroline Maher and conservation officer Lorraine Ward over two site walk arounds and meetings it was evaluated that converting Beechley House into Flats would be best solution in terms of overall effect and less effect on all the original features and external appearance of the building. This key design decision leads to less impact in terms of elevational alteration with addition of new doors and windows and internally less impact by reducing the number of staircases needed that would have led to a number of large openings in the floor. When splitting the building up the key aims were to keep the key rooms to the East on each floor and the main staircase un-effected as much as possible and to not affect as many original walls as possible, keep as many original features as possible and to not change the elevational treatment.

Conversion to Apartment option



Conversion to house/wings option



Our proposal seeks to retain and enhance the existing elevations wherever possible. The conversion scheme and revitalisation of the stables link route creates an opportunity to enhance the West (rear) elevation of Beechley House, and improve the access into the building on this elevation into a new duplex apartment this would involve the removal of a modern awkward single storey extension and inset which will enhance the façade, and re-simplify the roof form.

The most extensive internal alterations to the building have been made to the newer phase 2 and 3 of Beechley House to create 2 duplex apartments. But still where possible internal alterations are to a minimum and where key walls have been removed throughout the building nibs have been kept to show where wall were originally.

Original store rooms within the building have been retained and designs worked around keeping key original features wherever possible.

The modern stair to the basement (and poor partitioning surround) has been removed from the original grand dining room and re positioned into the central core of the building where the lift shafts had been previously.

Key grand rooms have been reinstated to their original size and grand nature where possible.

After a number of design alterations and amendments we created a design that comprised of 8 grand apartments over the 2 floors, being a mixture of 1, 2 Bedroom and duplex apartments of a grand nature.

The proposals remove 13 insensitive modern partition walls to the grand East facing rooms on ground and first floor. Our proposal opens up and enhances these rooms with a viable apartment solution, though by necessity adds a total of 8 new partitions in a well thought out manner. A net loss of 5 walls/partitions.

Side Entrance & Car Park Design Development and reopening of stables link



Design Development thoughts on the Arena Area



Final proposals for Beechley House

- Respect phasing of the construction of the building
- Retain as main key features and wall lines as possible
- Removal of modern steel external staircases and incongruous modern curved link walkway
- Revitalise the grand rooms to the East Elevation of Beechley House
- Building fabric refurbishment



10. Beechley Stables Proposals

The Proposal to Beechley Stables is to split the building into 3 mews houses around key walls and retain and refurbish the key ornate cast iron sliding stable gates horseboxes as a feature of the interior design layout. The designs will be of a cottage style to match the character of the existing building but will be of a grand style and size.

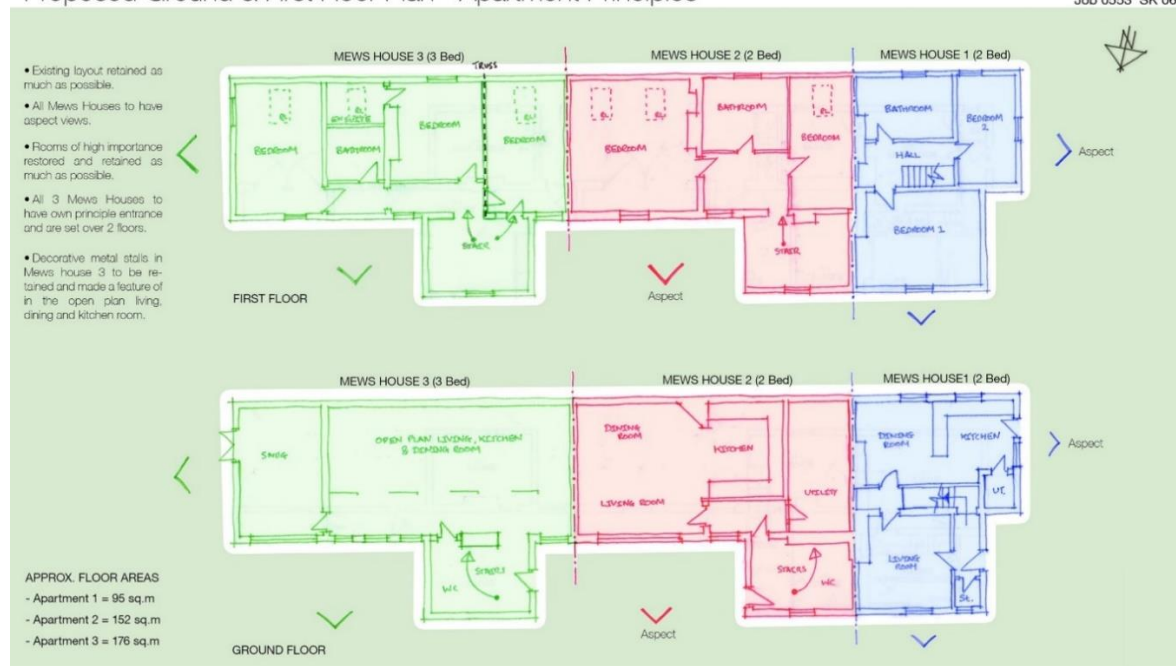
All the 3 Plots in the stables will have their own entrances off the cobbled courtyard and will be set over 2 floors. All will have their main aspect facing onto the courtyard and try to gain as much light into the properties from this aspect.

The design proposal will be to maintain as many exterior doors and windows as possible and the main additions will be to the rear elevation of the stables. These new windows to the rear will be of contrasting design.

As much as possible internal layouts will not be effected as careful consideration has been given to the internal layout of the 3 plots.

Proposed Ground & First Floor Plan - Apartment Principles

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All the existing windows to the stables will be refurbished/restored to match. And at ground floor all the windows had barriers on the exterior and these will be removed.

Key low level truss on the first floor level will be carefully positioned against a new wall to be made a feature within a bedroom of Plot 3.

New roof lights have been designed to be positioned facing over the rear elevation roof, as to no effect the front elevational treatment of the stables.



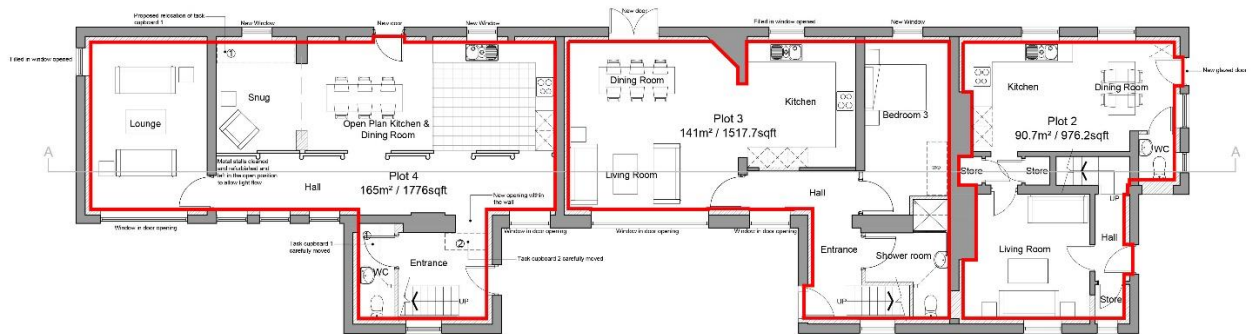
Images showing the design development we have undertaken to develop a layout that incorporates all the original features in the stables into a new modern use for the building.



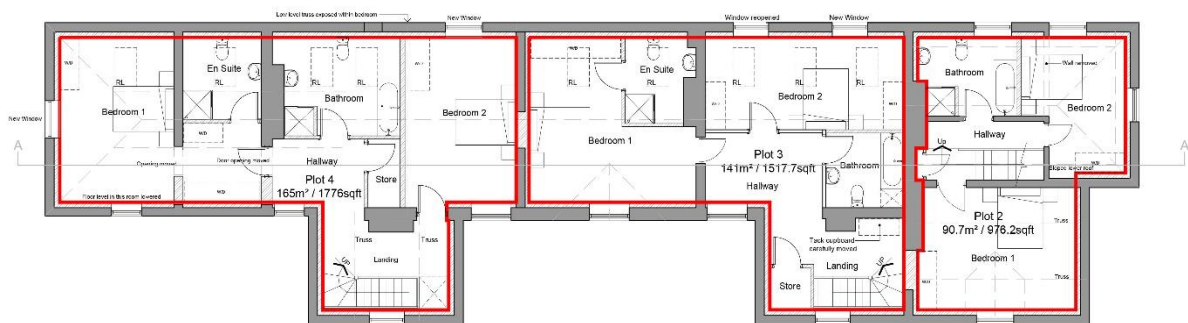
Sketch showing the overall spacing arrangement for the new look parking courtyard and new enhanced link between Beechley House carriage way and the stables courtyard.

Final Proposals for Stables

- Retain and refurbish cast iron historic sliding gates
- Maintain as many existing features, windows and door openings as possible
- All plots have own entrance and key aspects over the courtyard
- Internal alterations will be to a minimum
- Plots to be split using existing walls through the building



Ground Floor plan



First Floor plan

11. Summer House Proposals

The proposal to the Summer House is to convert the building into a self-contained 1-bedroom house. Using the existing footprint, but altering the internal layout and additional/alterations to windows and doors to the rear and side of the building and reintroducing the former ornate gardens between the two buildings. Which will also mean removing the single storey passageway between the buildings that had been added at a later date.

a. Refuse

There will be a communal bin store for 7 of the apartments in Beechley House and for Plot 3 of the Stables and Plots 1,2,4 and apartment 3 in Beechley house will have their own private refuse storage located in their own private amenity space. The refuse vehicle will access the site off Harthill Road onto the carriage drive that leads up to the front of Beechley House. Given the number of bins required an area of 30m² has been designated for the storage of the bins for the 7 apartments that share the communal refuse store.

b. Trees

A tree survey has been undertaken and where ever possible all trees will remain. The only area where a few trees will be removed is the area around where the equestrian structure had previously been to create the access onto the driveways for the 4 new houses.

c. Private amenity space

Plots 1-4 all have their own private amenity garden space, as does Apartment 3 in Beechley House. All the rest of the apartments have use of the public amenity space that surrounds Beechley House. Box privet hedge demarcation will be created to the ground floor of Beechley house to give the flats on the ground floor an area of private space.

d. Communal Parking

A 'walled courtyard garden' style parking area will be created to have 24 parking bays plus 2 visitor's bays. To supply parking for all Beechley house apartments, stables plots and the summer house. To create this walled courtyard parking, existing wall lines will be retained from the removal of the stables block on this area of the site to create a high outer wall to the boundary of the car park.

e. Access

The access to Beechley House and the Stables will not be altered and the access upto Beechley House will be a private drive. The gates post's, gates are intact and will be retained for both accesses. The main entrance to Beechley House will be widened and the initial part of the carriage way will also be widened and incorporate a new path. Also the original carriage driveway will be re-established and enhanced back to its original state. And the connection link between Beechley house and the stables will be enhanced opened up reemphasised and turned into a much more desirable paved connection. Plot 1-4 in the stables and summer house and the duplex apartment 3 in Beechley House will all be level access.



Beechley House entrance off Harthill Road



Stables entrance of Harthill Road

f. Walls

The walls surrounding Beechley House onto Harthill Road and to the rear of the stables will be retained affected at all, and the gates and pillars to the two accesses off Harthill Road will be retained.

g. Arena (equestrian structure)

The proposal seeks to replace of the arena building with small scale residential buildings, helping to frame the setting and the approach to Beechley house around the re-established carriage drive. Retaining all the existing walls that run along Harthill Road and to the rear of the stables of the four new houses adjacent to Beechley House. The houses have been designed to be simple, contemporary and honest in style and of a smaller subservient scale, in the setting of Beechley House.



View of equestrian structure off Harthill Road

h. Side Gardens

Revived with removal of curved corridor that had linked between Beechley House and the stables, to create landscaped gardens with an English garden wall as a backdrop separating this part of the garden from the stables area.

i. Materials

The existing pallet of materials are Red Brick on the stables, buff brick on the later additions to Beechley house and the summer house, scored stucco finish on sandstone render finish to the vast majority of Beechley house, and slate roof tiles on all the buildings. Wherever possible materials chosen will be to match, or use existing throughout the build in different areas.



Red brick



Buff brick



Stucco white render



Grey Slate roof tiles

Beechley House different window arrangements:



Beechley Stables different window arrangements:



Throughout Beechley House and the stables there are a number of different size and style of windows, with the majority being 4 over 4 single glazed white painted wood sliding sash windows. Flues and rainwater pipes are a mixture of original black cast iron or modern black UPVC and all additions or replacements will be to match existing. Later additions to elevations of vents, alarms and lighting that are not necessary any more will be removed to enhance the elevation back to its original grand nature.