LAND ADJACENT TO GRANGE LANE, GATEACRE



For

**COUNTRYSIDE PROPERTIES** 

# **ARBORICULTURAL IMPACT ASSESSMENT**

November 2014

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# **DOCUMENT CONTROL**

- TITLE: ARBORICULTURAL IMPACT ASSESSMENT
- **PROJECT:** GRANGE LANE, GATEACRE
- **JOB NO:** 1963
- **CLIENT:** COUNTRYSIDE PROPERTIES

Prepared by:	Lorna Cruice	Date: 26.11.14
Checked by:	David Starkie	Date: 26.11.14
Approved for distri	Date: 26.11.14	

# **Document**

Status	Description	Rev / date	Ву	Approved by	Issued to	lssue date	Comments
DRAFT	AIA		LAC	DS	PW - Countrys ide	26.11.14	
FINAL	AIA		LAC	DS	PW - Countrys ide	26.11.14	

# **Revisions to Final Document**

Rev	Description	Rev date	Ву	Approved by	lssued to	lssue date	Comments
A	AIA		LAC	DS	PW - Countrys ide	18.02.15	

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#### 1.0 INTRODUCTION

#### Scope and Purpose of Report

1.1 This report provides an initial analysis of the impacts that the proposed scheme would have on trees located on land south west of Grange Lane, Gateacre in Merseyside (hereafter referred to as 'the Site') both within the site and immediately adjacent to its boundaries. It also offers guidance on mitigation for projected losses, along with appropriate tree protection measures for those trees retained as part of the development proposals.

#### Tree Survey

1.2 A tree survey was undertaken on 27<sup>th</sup> October 2014 by Appletons, the findings of which are indicated in the Tree Survey Report dated, November 2014. This includes a tree survey plan which confirms the number and quality of trees within the site and define their associated Root Protection Areas (RPAs). Where appropriate their protection requirements are discussed in detail at Paragraphs 5.1 – 5.2.

## 2.0 STATUTORY PROTECTION IN RESPECT OF TREES AND ASSOCIATED WILDLIFE

#### Tree Preservation Orders and Conservation Area Designations

- 2.1 The Town & Country Planning Act (1990) (the Act) and associated Regulations empower Local Planning Authorities (LPAs) to protect trees in the interests of amenity by making Tree Preservation Orders (TPOs). The Act also affords protection for trees of over 75mm diameter that stand within the curtilage of a Conservation Area (CA). Subject to certain exemptions, an application must be made to the LPA in question to carry out works upon or to remove trees that are subject to a TPO, whilst six weeks' notice of intention must be given to carry out works upon or to remove trees within a CA that are not protected by a TPO.
- 2.2 At the time of writing we understand that the Site is not contained within a designated Conservation Area and no trees are the subject of a Tree Preservation Order.

#### **Protected Species**

2.3 Information and recommendations relating to protected species have be included within the separate report, Extended Phase 1 Habitat Survey, November 2014 prepared by Appletons.

#### **Felling Licences**

2.4 Subject to certain exemptions the Forestry Act (1967) requires that a 'Felling Licence' be obtained to remove growing trees amounting to specific volumes of timber. Felling Licences are administered by the Forestry Commission, and contravention of the associated controls can incur substantial penalties. A Felling Licence is not needed for the removal of trees immediately required for the purpose of carrying out a development authorised by detailed (i.e. full) planning permission granted under the Act (1990).

#### 3.0 THE SITE AND TREE POPULATION

- 3.1 The Site comprises of the former Gateacre Comprehensive School. The buildings have been demolished within recent times and the area now consists of redundant playing fields and grassed areas, bare areas of hard standing including tarmacdam playground areas, levelled but uneven areas of demolition rubble and features such as concrete steps, brick walls and planters. The Site is rectangular in shape and is approximately 500m by 200m in maximum dimensions.
- 3.2 Trees and taller vegetation such as bramble and some exotic shrub species are located generally to the margins of the Site which would have related to the distribution of the school buildings and car parking areas. They are both broad-leaved and coniferous species and occur mainly on the southern and eastern site margins. These include native and non-native exotic tree and shrub species, typically including ornamental Cherry, Maple species and Birch species. A cherry laurel hedge runs along parts of the north eastern boundary with Grange Lane at the southern end.
- A total of 60no. individual trees and groups of trees were surveyed on 27<sup>th</sup> November 2014. All trees surveyed are shown on drawing no. 1963\_01 at Appendix 1 Details of the findings are contained within the Tree Survey Report.

#### 4.0 DEVELOPMENT PROPOSALS AND PROJECTED ARBORICULTURAL IMPACTS/ ISSUES

- 4.1 The application is for full planning permission for a residential development of 200 units.
- 4.2 Vehicular access is proposed from a number of locations from both Grange Lane to the east and Cuckoo Lane to the west as detailed on the Tree Protection Plan, drawing no. 1963\_02 at Appendix 2.

#### Projected Arboricultural Losses Relating to the Proposal

4.3 The proposed residential layout of the development and its implementation will require the removal of the following trees and tree groups (Table 1) as identified from the initial tree survey assessment.

	Ret. Cats.	Tree removals necessary to implement develop- ment	Tree removals suggested for non- develop- ment related reasons	Sub total of trees required to be removed	Trees retained off site requiring protection	Trees retained on site requiring protection	Total number of tree/ group
Those of a high quality that should be afforded appropriate consideration in the context of development.	'Α'	-	-	·	-	-	0
Those of a moderate quality that should be afforded appropriate consideration in the context of development.	'B'	G12, T13, T14, T15, T24, G26, G27,	T53 (over mature)	8	T1	-	9
Those of a low quality that should be afforded appropriate consideration in the context of development.	ʻC'	T16, T20, T29, T30, T31, T38, T42, T43, T44, T45, T50, G51,T52	(6), T5, T7, T8, T9, G17, T18, T19, G25, T28, T37, G48, G55, G59, T60	28	T2, T3, T4, T34, T35, G36, T41, T54	T40, G49, G56, G57, T58	41
Those that should be removed for sound management reasons regardless of site plans.	ʻU'	-	T10, T11, T21, T22, T23, T32, T33, T39, T46, T47.	10	-	-	10
Totals		21	25		9	5	60

Table 1: Arboricultural Impacts of Proposed Development & Other Tree/ Groups Removal Proposals

4.4 From the table a total of 46no. trees or tree groups would require removal to implement the proposed development. Nonetheless, the poor quality trees represents 60% of the total number of trees required to be removed with half of these assessed as being unsuitable or undesirable for any future use of the site including a 'do nothing' scenario.

10no. trees are recommended for removal for good management reason due to their overall condition.

4.5 Although implementation of the development will necessitate the removal of a number of trees the overall quality of the existing tree cover is considered limited and its loss would not be significant in the context of the surrounding locality.

#### **Mitigation for Subsequent Tree Losses**

4.6 Tree planting should be included as part of any subsequent detailed development proposals, with an associated landscape scheme specifying such matters submitted in support of any such planning application. In consideration of the character of the surrounding local landscape it is recommended that such a scheme should include a substantial percentage of trees of locally native or wildlife attracting species but which can be accommodated in association with residential housing in terms of ultimate mature height, canopy spread and root growth. Potential shading and visibility sight lines along the highways should also be a factor in determining tree species and location.

## 5.0 RECOMMENDATIONS FOR SUCCESSFUL TREE RETENTION IN THE CONTEXT OF DEVELOPMENT

#### **Root Protection Areas and Construction Exclusion Zones**

- 5.1 Adequate protection of the Root Protection Areas (RPAs) of retained trees during construction is essential if their long-term viability is to be assured. RPAs, which are calculated through a method provided in *BS5837: 2012, Trees in relation to design, demolition and construction Recommendations,* are ground areas that should be protected by temporary protective fencing as Construction Exclusion Zones (CEZs) throughout the development process, thereby keeping the trees' root zones free from disturbance, compaction or damage and protecting overhead canopies from accidental damage due to the construction processes. The RPA distances are indicated on both the Tree Survey Plan and on the Tree Protection Plan, **drawing 1963\_02** at **Appendix 2**. In certain situations, however, there is a limited degree of flexibility in the RPA and CEZ positioning.
- 5.2 With regard to the CEZs, the design, materials and construction of the temporary fencing should be appropriate for the intensity and type of site construction works and should conform to at least section 6.2 of *BS5837: 2012.* A Temporary Protective Fencing/ Barrier Specification together with recommendations for general tree protection measures are appended for reference at **Appendix 3**. The protection of retained trees should, in turn, be secured by the imposition of a suitably worded planning condition.

#### Precautions outside the Construction Zone

- 5.3 All weather notices should be erected on protective barriers for example of notice see **Appendix 4**.
- 5.4 Care shall be taken when planning site operations to ensure tall or wide loads/ plant can be operate without coming into contact with retained trees. It is the responsibility of the contract's manager on site to prepare method statements for these operations and to inform all parties of their responsibilities in this regard.
- 5.5 Material which will contaminate the soil, shall not be discharged within 10 metres of the tree stem. Fires shall not be lit in a position where flames can extend within 5 metres of any part of the tree. Notice boards and cables shall not be attached to any part of the tree.

5.6 General precautions which should be taken to protect trees during the construction phase are attached at **Appendix 5**.

#### **Underground Utilities**

5.7 The installation of underground utilities in close proximity to trees can cause serious damage to their roots. As such, it is essential that utilities be routed outside RPAs unless there is no other available option. Where RPAs cannot be avoided then guidelines set out in the National Joint Utilities Group publication 'Volume 4: NJUG Guidelines for the Planning, Installation and Maintenance of Utility Apparatus in Proximity to Trees (Issue 2) – Operatives Handbook' should be followed (e.g. trenches of a very limited width to be hand dug or the use of directional drilling). In the case of the site under consideration it is recommended that all underground utilities should be routed outside tree RPAs.

#### 6.0 OTHER RECOMMENDATIONS

#### Non-Development Related Tree Works and Recommendations

6.1 Any general management pruning works for retained trees that are stated to be nondevelopment related, as detailed in the Tree Survey Report, are recommended in accordance with prudent arboricultural management and should therefore be carried out regardless of any site development proposals and potential changes in land usage. All tree works should be carried out in accordance with *BS3998: 2010, Tree Work* -*Recommendations.* 

#### **Arboricultural Contractors**

6.2 All tree works should be carried out by suitably qualified and experienced arboricultural contractors carrying appropriate public liability insurance cover and be implemented to the minimum current CE and UK industry standards and in accordance with industry codes of practice. Only certificated personnel should, in accordance with The Control of Pesticides Regulations, apply any pesticides.

#### **Contractors and Subsequently Identified Tree Defects**

6.3 Tree contractors should be made aware that, should any significant tree defects become apparent during operations that would not have been immediately obvious to the surveyor, then such defects should be notified immediately to the client and subsequently confirmed to the consultant within five working days.

#### **New Tree Planting**

6.4 Where trees are removed in order to facilitate construction then new tree planting proposals should be included as part of the landscape design plan for the site. All tree planting and subsequent young tree management at the site should be carried out in accordance with relevant sections of *BS 8545:2014 Trees: from nursery to independence in the landscape – Recommendations.* 

#### **Retained Tree Management**

6.5 Any tree risk management appraisals and subsequent recommendations made in this report were based on observations and site circumstances at the time of the survey. Trees are dynamic living organisms whose structure is constantly changing and even those evidently in good condition can succumb to damage and/or stress. In this

respect it should be noted that, under the Occupiers' Liability Act (1957 & 1984), site occupants have a duty of care to take reasonable steps to prevent or minimise the risk of personal injury and/or damage to property from any tree located within the curtilage of the land they occupy. It is accepted that these steps should normally include commissioning a qualified and experienced arboriculturist to survey the trees in order to identify any risk of harm to persons or damage to property that they may present and, where unacceptable risks are identified, taking suitable remedial action to negate those risks.

#### 7.0 SUMMARY AND CONCLUSIONS

- 7.1 The Site is located within the residential area of Gateacre and comprises of a demolished school site with areas of grassed playing fields and hard standings. Trees and vegetation is limited and located generally to the margins or within zones surrounding previous buildings. A tree survey was undertaken in October 2014, the results of which are contained within a separate report prepared by Appletons. This report is an assessment of the impact on trees of a proposed residential development for 200 units.
- 7.2 An evaluation of the proposed layout against the tree constraints information has indicated that development of the site, as shown, is projected to require the removal of 8no. moderate quality trees/ tree groups and 28no. low quality trees/ tree groups with 10no trees recommended for removal due their overall condition in any event.
- 7.3 14no trees can be retained as part of the development which are generally located along the south eastern boundary with adjacent residential gardens. These trees would assist in forming screening to adjacent properties.
- 7.4 Retained trees shall be protected from disturbance during the construction phase by appropriate protective fencing or barrier in accordance with *BS5837: 2012*.
- 7.5 Any subsequent detailed development proposals should include adequate provision for the incorporation of trees.
- 7.6 Although implementation of the development will necessitate the removal of a number of trees the overall quality of the existing tree cover is considered limited. Its loss would not be significant in the context of the surrounding locality. It is evident that extensive new tree planting can be provided as part of the development's landscaping which, over the long-term, is projected to have a significant and positive effect on the overall sustainability of the Site's tree cover.

#### REFERENCES

BS4428: 1989 - Code of Practice for General Landscape Operations. BSI British Standards. London.

BS3936-1:1992, Nursery Stock – Part 1: Specification for Trees and Shrubs. BSI British Standards, London.

BS3998:2010 - Tree Work - Recommendations. BSI British Standards, London.

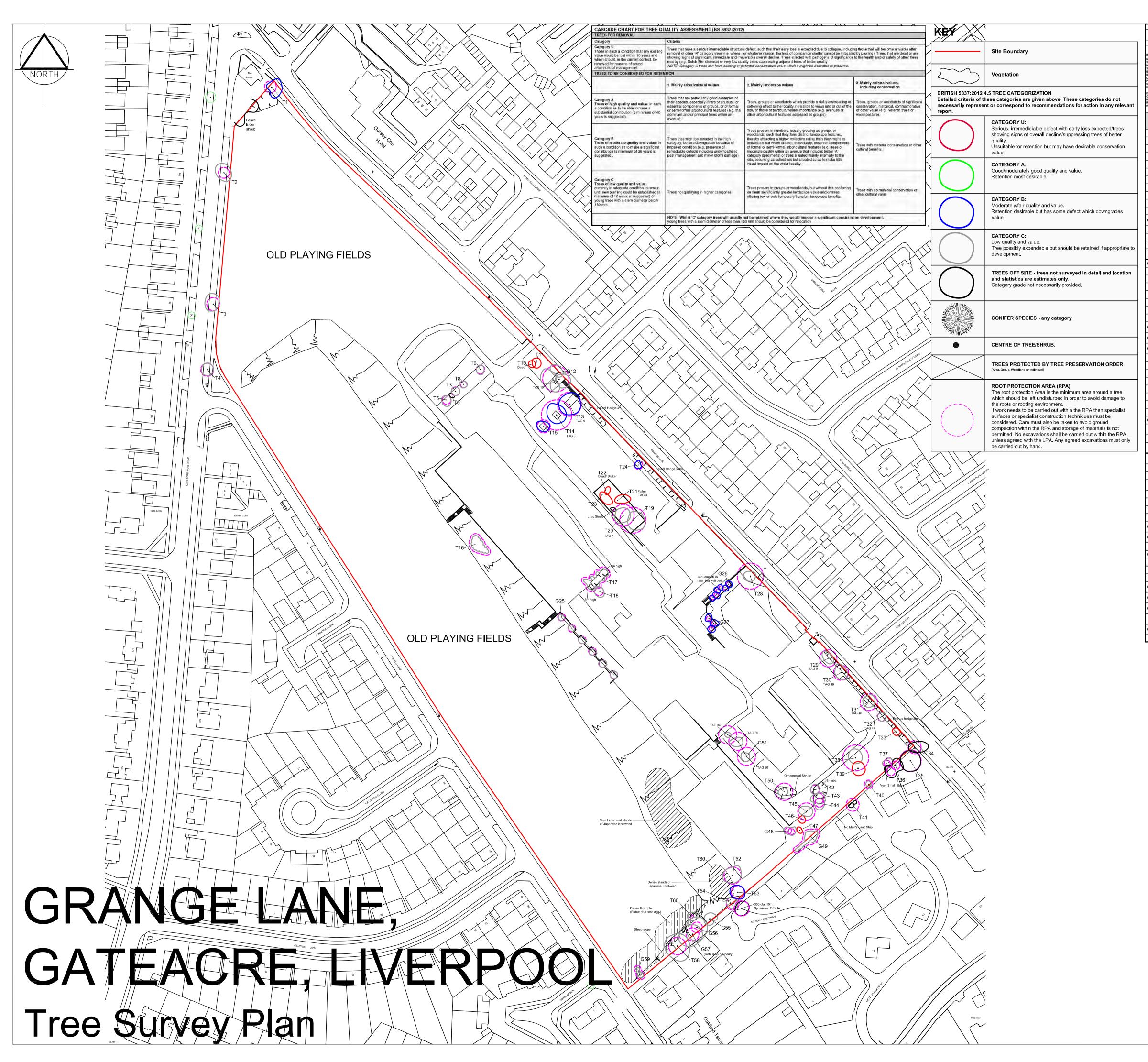
BS5837:2012 - Trees in Relation to Design, Demolition and Construction – Recommendations. BSI British Standards, London.

BS 8545:2014 Trees: from nursery to independence in the landscape – Recommendations. BSI British Standards, London.

National House Building Council (2008). NHBC Standards Chapter 4.2 - Building Near Trees. NHBC, Amersham.

National Joint Utilities Group (2007). Volume 4: NJUG Guidelines For The Planning, Installation And Maintenance Of Utility Apparatus In Proximity To Trees (Issue 2) – Operatives Handbook. Main body of report

# APPENDIX 1



TRE	E SURVEY SCHEDU	JLE						Surveyor: LAC/DS						
Site	Grange Lane	Grange Lane, Gateacre, Liverpool Assessment Date: 27th October 2014 Weather: Dry / Fair					-	Page: 1						
Clie	nts: Countryside	Propert	ies					Job Reference: 1963						
Heading	s and Abbreviations;													
No. Species		Conmon n	ame					or Hodge (H) reference number - refer to plan and to numbered tags where applicable.						
No. Species Height: Stem Di Branch	am.: Spread:	Sten diame	eter in millimetr	es, to nearest	10mm - measure	ed and calcul	lated as pe	red using an electonic clinometer and the remainder estimated against the measured trees. In the case of Groups and Woodlands the neasurement listed is that of the highs r Annex C of BS5537:2012. MS = multi-stemmed, TS = twin-stemmed, regardinal points (north, east, south and west) to give an accurace visual representation of the crows. If cardinal points not indicated caropy spread is indicated on the treesu						
Branch Life Sta PC:		Existing he Estimated a	ight above grou age class - Y =	nd level, in n young, SM = :	etres, of first sign semi-mature. EM	ificant brand = early-mat	h and dire ure. M = m	ction of growth (e.g. 2.5-N) an3 of canopy at lowest point – to inform on crown to height ratio, potential for shading, etc. ature. PM = post-mature.						
General	Observations and Comments: nent Recommendations:	Conments Either Preli	relating to the t minary or In Co	tree'(s)' overall insideration of	I condition and an the Proposal - In	ny other perfinite the case of	inen/ facto Arboricul fi	ND = Motizand P = Poor, M = Moderate, G = Good is including structural defects, ourient and potential potent structural damage, physiological decline, poor form, aesthetic qualifies etc. and Constaints Surveys the recommended management works only take enting site and tree dricumstances and conditions into account and not proposed developments. App	occultural (impact)	Assessment and	Nethod Eastern	er/initiand		
ERC: Cat. Gra	de:	Estmated R	Remaining Con	tribution - in ye	ears as per BS58	37:2012 (i.e.	<10, 10+	ns made accordingly. More than one option may be given if considered appropriate. 20+, 40+). In BSSS37.2012 Table 1.						
RPA m <sup>2</sup> RPA Ra	dius (m):	Rost Protes Rost Protes	ction Area in m <sup>a</sup> ction Area Radi	<ul> <li>calculated a us - in metres</li> </ul>	area around the to measured from t	ree that must the centre of	t be approp the stern t	priately protected throughout the development process in order avoid root damage. o the line of tree protection.						
# (Estim	ated Dimensions):	Wfore free	s are located o	n-site, or are in	naccessible for a	ny other reas	son, and a	courate measurements or other information cannot be taken then he information provided is estimated and is duity suffixed with a '#' symbol.						
No.	Species	Height	Stem Diam.	Branch Spread	Branch & Canopy Clear-ances	Life Stage	PC	General Observations and Comments and Management Recommendations	LAC	Cit. Grade	PP3. (mr)	RPA Radive		
	Sycamore	9	m/s 175	As indictaed on plan	2.5	EM	-	Off site. Evenly spread. Well balanced.	40+	B1	34	3,3		
2	Cherry	5	2 x 250	a a	1.5	M	P	Fork at 1.6m above ground level. In highway verge, fruit bodies at base. Monitor decay in base.	10+	C1	28	3		
	Cherry	6	300		2	M	P	t bark at cankers in canopy stems. Crossing branches.		C1	41	3.6		
	Cherry	6 4	300 200	"	2.5	M	P	Split bark at cankers in canopy stems. Crossing branches. Holly at base. Dead wood. Small tree part scaring in lower trunk. Replaceable.	10+	C1 C1	18	3.6		
	Rhododendron	4	200	"	2.0	-	P	Small ornamental.	-		10	2/4		
7	Cherry	4	200	"	2.5	M	P	Fruit at 1.5m, small stature. Replaceable. Dead wood.	10+	C1	18	2.4		
8	Cherry	4	150	ű	2.5	M	P	Small pocket cavity at 1m. Dead wood. Replaceable.	10+	C1	10.2	1.8		
9	Cherry	4	200	"	2.5	M	P	Dead wood. Replaceable. Fairly wide canopy, small stature.	10+	01	18	2.4		
10	Laburnum	3		"		-	D	Dead. Remove.	-	UI	-	-		
11	Laburnum	4T	450	ű	2.5	М	VP	Lean of 45°, twisted branches, in high decline. Possibly diseased in 30% of branches. Moribund.	147	UL	-	÷.		
G12	4xCherry	6	600 -	ű	2.5	м	м	Group value. Pruned. Decent canopy. B as a group, C individually. More pendulous form.	20+	B/C1	165	7.2		
	Birch	12+	800 550	ű	4	M	M/G	Tagged, good spreading canopy. Attractive tree. Well shaped.	40+	B1	137	6.6		
	Birch	12+	700	u	5	M	M	Fluted back, crown lifted in past. Decent canopy, minor dead wood.	40+	B1	222	8.4		
	Birch	10	300	"	3	M	M	Forks at 2m, smallest of 3. Dead wood. Good even canopy, attractive tree.	40+	B1	41	3.6		
16	Elder / Hawthorn /	7	Group	ű	0	M	P	Group on slope. Replaceable. Dense and close to ground. Forms large shrub.	20+	01	89	5.0		
	Amelanchier			"							1			
	Leylandii Cherry	5-7 5	200		2	M M	P P	Line of 10, evenly spread leylandii. Replaceable. Some in poor condition. Small stature, poor form. Replaceable.	10+ 10+	C1 C1	118 18	2.4		
	Mountain Ash	8	600	"	4	M	P	Many crossing branches, included wood. Dead wood. Poor specimen, bark scarring.	20+	C1	163	7.2		
	Cherry	7	300	"	2.0	M	P	Large structural root at ground level. Long drooping branches. Attractive tree.	20+	61	113	6		
	Cherry	-		"	-	-	-	ge structural root at ground level. Long drooping branches. Attractive tree.		11	110	-		
22	Laburnum							ad. Broken. Remove.			-			
23	Laburnum	5	320	"	0	м	Р	aning. Lower trunk protracted along ground. Dead wood. Poor. Remove.		11	-	i e		
	Red Acer cv.	7	200		2	EM	М	Small stature, attractive looking tree, good potential. Good canopy.	40+	81	18	2.4		
G25	6 x Cherry sp	5	Ave	"	1.5	м	Р	nall stature. Poor specimens. Dead wood. Some cavities. Twisted lower canopies. Replaceable		01	84	1.1		
			175 75 -	"							<u> </u>			
G26	6 x Birch	7	100		1.5	EM	м	ckmontii' in border, with stakes. Stake damage on stems. Group value. Consider retaining.		81	27	1.02		
G27	6 x Birch	7	75 - 100	"	1.5	EM	м	ckmontii' in border, with stakes. Stake damage on stems. Well balanced canopies. Group value: nsider retaining.		8)	14	1.02		
28	Laburnum	7	600	"	2	м	Ρ	Dead wood at fork 1.5m. Slight lean, replaceable. Cavity under branch.	20+	C1	163	7.2		
29	Ornamental Cherry	6	400	"	2	М	Ρ	gged. Amenity group value. Dead wood. Reasonable canopy.		C1	72	4.8		
30	Ornamental Cherry	6	330	"	2	М	Ρ	ghtly more twisted than above. Major Imb lost/pruned at back from road.		61	55	4.0		
31	Ornamental Cherry	6	400	"	2	М	Ρ	nor pruning as street risk; best of the group. Small stature.		01	72	4.8		
32	Ornamental Cherry	6	2 x 200	"	2	М	Ρ	Fork at 0.3m, twisting trunk, crossing limbs. Small stature.	20+	U1	t.	1.0		
33	Ornamental Cherry	5	175	"	2	M	Р	Leaning. Poor specimen, small canopy, one sided.	10+	01	-	-		
34	Ornamental Cherry	6	m/s 300	"	2	EM	м	Off site.	~		41	3.6		
	Horse Chestnut	9	500		3	EM	м	Off site. Forks at 2m.	181	-	113	6.0		
	2 x Leylandii	10	200 130+		0	EM	Ρ	Off site. Forks at 2m.		-	36	2.4		
37	2 x Conifers	10	200		0	EM	Р	Slight lean, poor specimens. Dead wood. Replaceable.	10+	C7	28	1.8		
38	Ornamental Cherry	6	600	"	2.5	м	Ρ	Dead wood. Ring of callous bark, possible graft line. Branch damage.	10+	C1	163	7.2		
39	Ornamental Cherry	6	800	"	2.5	М	Ρ	Bark necrosis along most branches extending into wood. Major dead wood. Peeling bark. Major decay.	>10	- 01	÷	151		
40	Horse Chestnut	4	m/s ave 200	6	0	EM	Ρ	Self set. Multi-stemmed. Replaceable. Scruffy tree.	10+	C1	18	2.4		
41	Wilow	8	300	4		EM		Off site. Drooping form.	-	- 2 1	41	3,6		
42	Pine	7	200	"	0	EM	Р	Small, slight lean. Out of place.	20+	C1	18	2.4		
43	Sycamore	8	200 +	#	2	EM		Bi-forcate stem, possibly self set. Neal canopy. Replaceable.	20+	C1	28	3.0		
44	Beech	8	300 2 x 200		0	EM	M	Self set included wood at base. Multi-stemmed. Small stature.	20+	C1	18	2.4		
44	Beech	8	2 x 200 200		0	EM	M	Self set included wood at base. Multi-stemmed. Small stature.	20+	C1	72	2.4		
45	Amelanchier	7	200	4	2	EM	P	Poor form, broken branches. Replaceable. Tom limb. Remove.	AUT	U	-	AV1		
40	Amelanchier	6	175		2	EM	P	Poor form, broken branches. Replaceable. Tom limb. Remove.		UT	1.1			
	Sycamore	8	Approx			EM	P			C1	20	1.5		
	Sycamore/ Elder/		125 Approx		_			elf set sycamore, multi-stemmed. Replaceable.		-		Ctf suit have		
G49	Hawthorn	6-8	125		•	EM	Ρ	Scrubby on boundary. Sycamores are young. Replaceable.	20+	C1	93	categority in		
50	Cypress sp	8 - 9	400	4		EM	P	Replaceable, lone tall tree.	20+	C1	72	4.8		
	Ornamental Cherry	6	420	4	2	M	P	x cherries. Horizontal canopy. Ring of callous bark. Dead wood.		C1	240	5.0		
52	Sycamore	12	4 x 400	4	2.5	M	P	Large tree, multi-stemmed. Included wood at stem union. Crossing branches. Large canopy	30+	C1	72	4.8		
53	Sycamore	10	2 x 300		2.5	OM		Bi-forcated 2 stems. Neat canopy.	30+ 30+	BI	41	3.6		
54	Sycamore Sycamore/Elder/	10	300		2.5	EM		Single straight stem, narrow canopy. Replaceable.	C1	41	3.6			
G55	Sycamore/ Elder/ Ivy	6	-	4	-	EM	Ρ	Small scrubby limbs, self set, young tree. 20+ C1 -				12.		
	2 Cherries	10+	200 – 275	"		М	Ρ	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,						
G57	2 x Sycamore	10+	300			м	Р	2 x sycamores fork at 0.5m. Self set, light branching. On boundary wide spreading canopy. Retain on 20+ C1 41				3.0		
			Say	~	_			oundary.				100		
	Sycamore	10+	400	"		М	Ρ	Self set – no direct access. Ascending branches. Retain on boundary.	20+	C1	72	4.8		
G59	Sycamore	7	150		1.5	EM	Ρ	Group of self set trees. Young, tall thin. Replaceable.	20+	C1	30	canopy by 09t		
_	Sycamore	5	75		0.5	Y	Ρ	Young, replaceable, small stature.	30+	C1	3	0,9		

REVISIONS									
Project			$\mathbf{X}$						
GRANGE LANE	E, GATEACRE, LI	VERPOOL							
Title									
TREE SURVEY PL	.AN								
Client									
Countryside Prope	ties								
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Drawn		Drawing No.	$\langle \cdot \rangle$						
SW		1963_01							
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Landscape	©Appletons 17	Chorley Old Road, Bolton BL1 3AD. Tel: 01:	204 303006 Eav: 01204 398702						
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