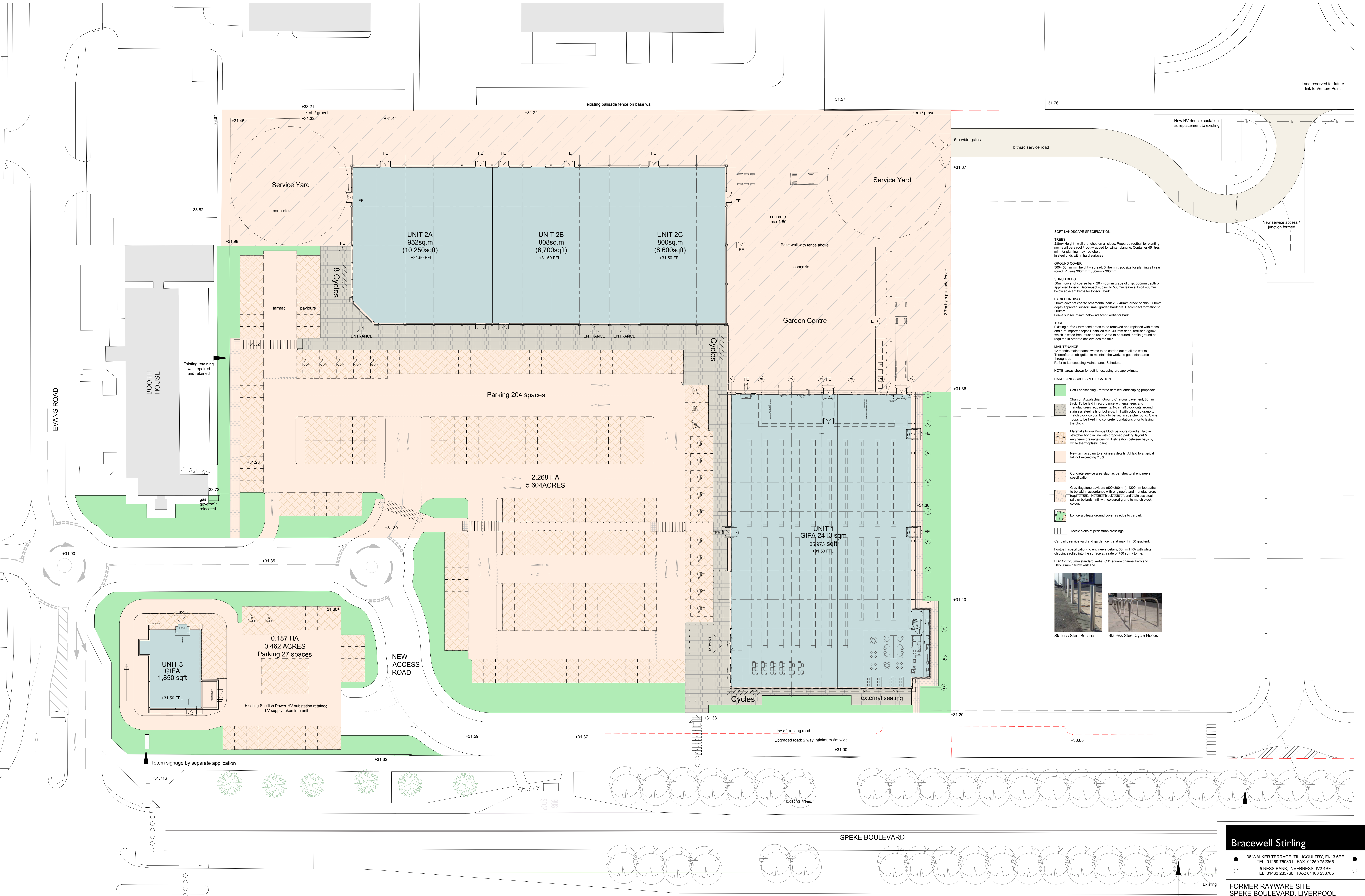


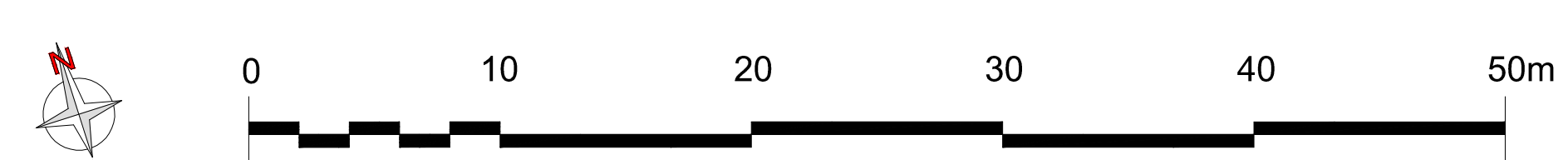
A4. SITE LAYOUT PLAN



- SOFT LANDSCAPE SPECIFICATION:**
- TREES**
2.8m+ Height - well branched on all sides. Prepared rootball for planting max depth 1.5m - root wadded for winter planting. Container 45 litres min. for planting max 1.5m. In steel grids within hard surfaces
- GROUND COVER**
300x400mm min height + spread. 3 litre min. pot size for planting at year round. Pit size 300mm x 300mm x 300mm.
- SHRUB BEDS**
50mm cover of coarse bark 20 - 40mm grade of chip. 300mm depth of approved topsoil. Decomposed subject to 500mm leave subsoil 400mm below adjacent kerbs for topsoil / bark.
- BARK BLINDING**
50mm cover of coarse ornamental bark 20 - 40mm grade of chip. 300mm depth approved subsoil small graded hardwood. Decomposed formation to 500mm. Leave subsoil 75mm below adjacent kerbs for bark.
- TURF**
Existing turf / tarmac areas to be removed and replaced with topsoil and turf. Imported topsoil installed min. 300mm deep. Fertilised 50g/m², which is weed free. Must be used. Area to be turfed, profile ground as required in order to achieve desired falls.
- MAINTENANCE**
12 months maintenance works to be carried out to all the works. Thereafter an obligation to maintain the works to good standards throughout. Refer to Landscaping Maintenance Schedule.
- NOTE:** areas shown for soft landscaping are approximate.
- HARD LANDSCAPE SPECIFICATION**
- Soft Landscaping - refer to detailed landscaping proposals
 - Charcon Appalachian Ground Charcoal pavement, 80mm thick. To be laid in accordance with engineers and manufacturers requirements. No small block cuts around stainless steel rails or bollards. Infill with coloured gran to match block colour. Block to be laid in stretcher bond. Cycle hoops to be fixed into concrete foundations prior to laying the block.
 - Marshall's Porous block pavours (bottle), laid in stretcher bond in line with proposed parking layout & engineers drainage design. Delineation between bays by white thermoplastic paint.
 - New tarmac to engineers details. All laid to a typical fall not exceeding 2.0%
 - Concrete service area slab, as per structural engineers specification
 - Grey flagstone pavours (600x300mm), 120mm footpaths to be laid in accordance with engineers and manufacturers requirements. No small block cuts around stainless steel rails or bollards. Infill with coloured gran to match block colour.
 - Lonicera pleats ground cover as edge to carpark
 - Tactile slabs at pedestrian crossings.
 - Car park, service yard and garden centre at max 1 in 50 gradient.
 - Footpath specification: to engineers details. 300mm P80 with white chippings rolled into the surface at a rate of 750 sqm / 1 tone.
 - HB2 125x255mm standard kerbs, CS1 square channel kerb and 50x200mm narrow kerb line.



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Bracewell Stirling

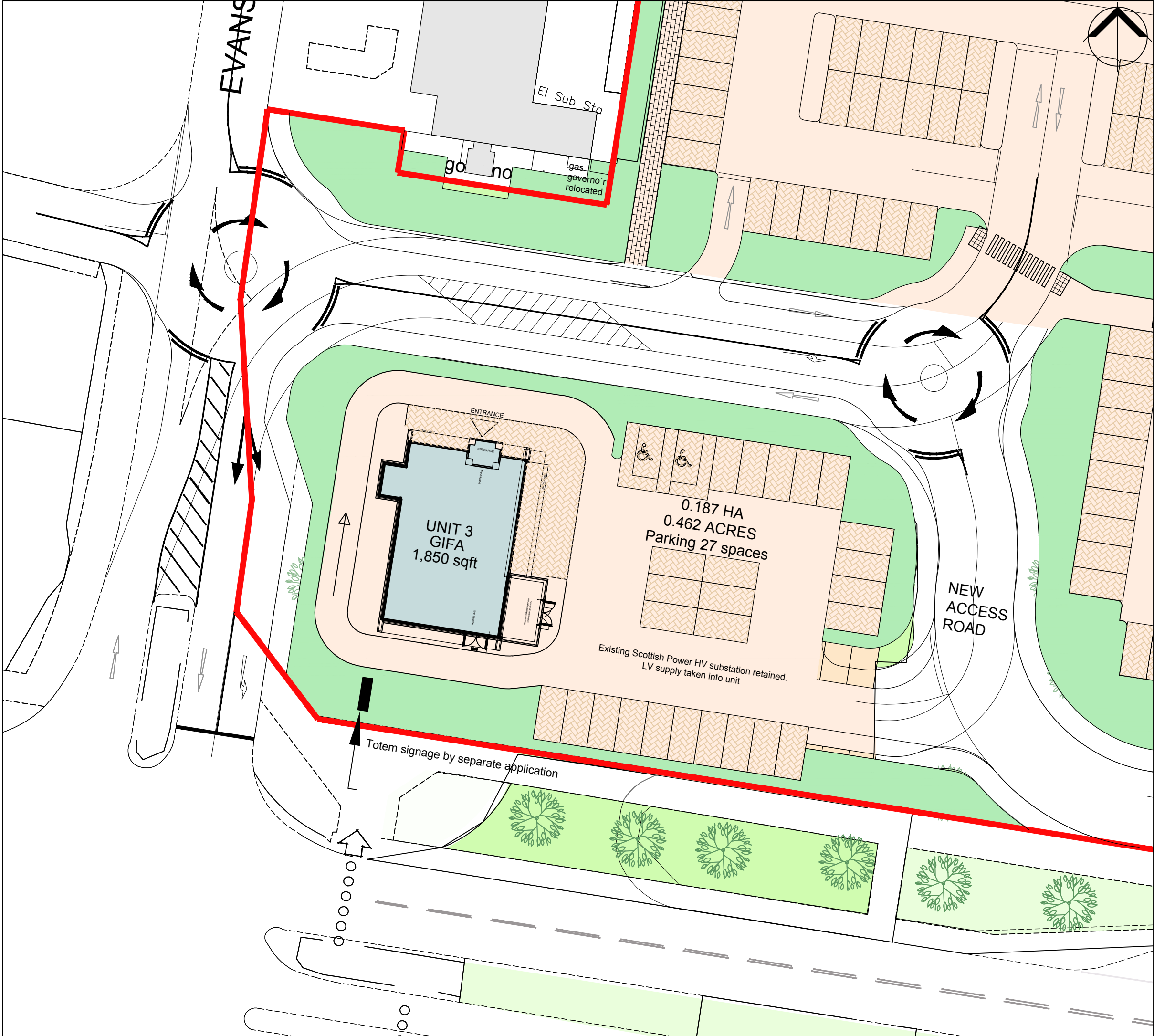
- 38 WALKER TERRACE, TILLCULTRY, FK13 6EF
TEL: 01259 750301 FAX: 01259 752365
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760 FAX: 01463 233785

**FORMER RAYWARE SITE
SPEKE BOULEVARD, LIVERPOOL
TJ MORRIS LTD**

PROPOSED SITE PLAN

SCALE	1:250	DATE	2015/12/11	BY	jpc
DWG NO	4098 / AL(0)003	PLANNING		DWG SIZE	A0
				REV	

A5. SITE ACCESS JUNCTION



Notes;
1.This drawing is based upon drawing number 4098 P01 supplied by Bracewell Stirling Consulting and Icen Projects Ltd. shall not be liable for any inaccuracies or deficiencies.

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Client

Home Bargains

Project

Speke Boulevard, Liverpool

Title

Proposed Access Arrangements

Drawn By RB	Checked By RJ 11/04/2016	Approved By SP 11/04/2016
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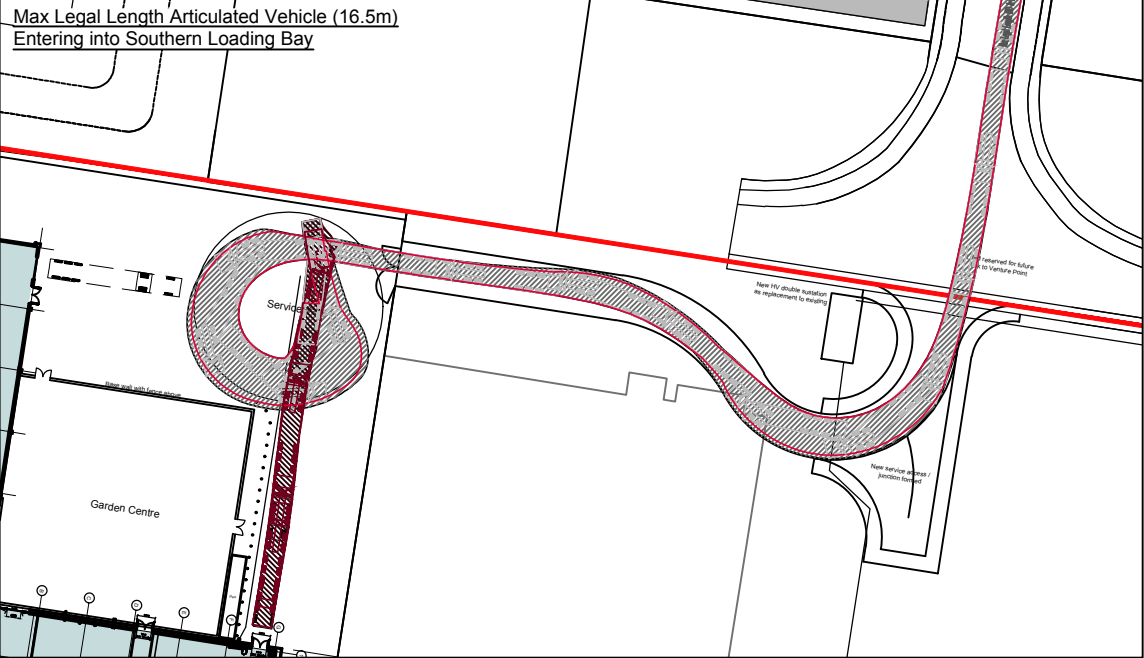
Scale @ A3 NTS	Date 11/04/2016
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Project No. 12-T088	Drawing No. 10	Rev. -
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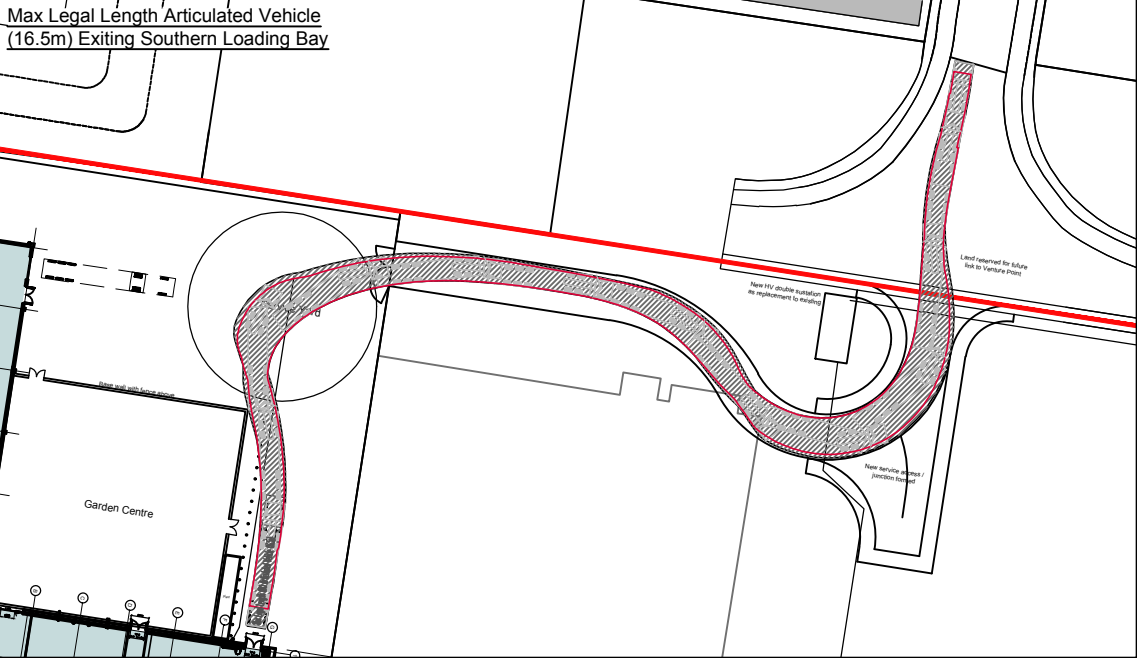
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A6. SWEPT PATH ANALYSES

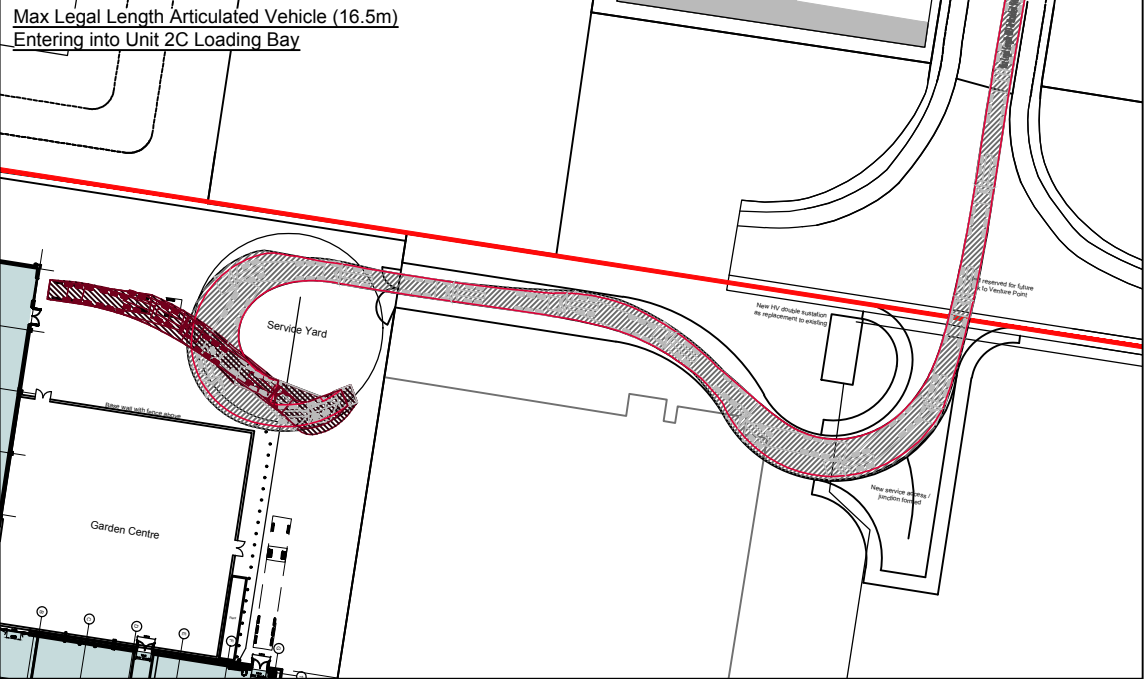
Max Legal Length Articulated Vehicle (16.5m)
Entering into Southern Loading Bay



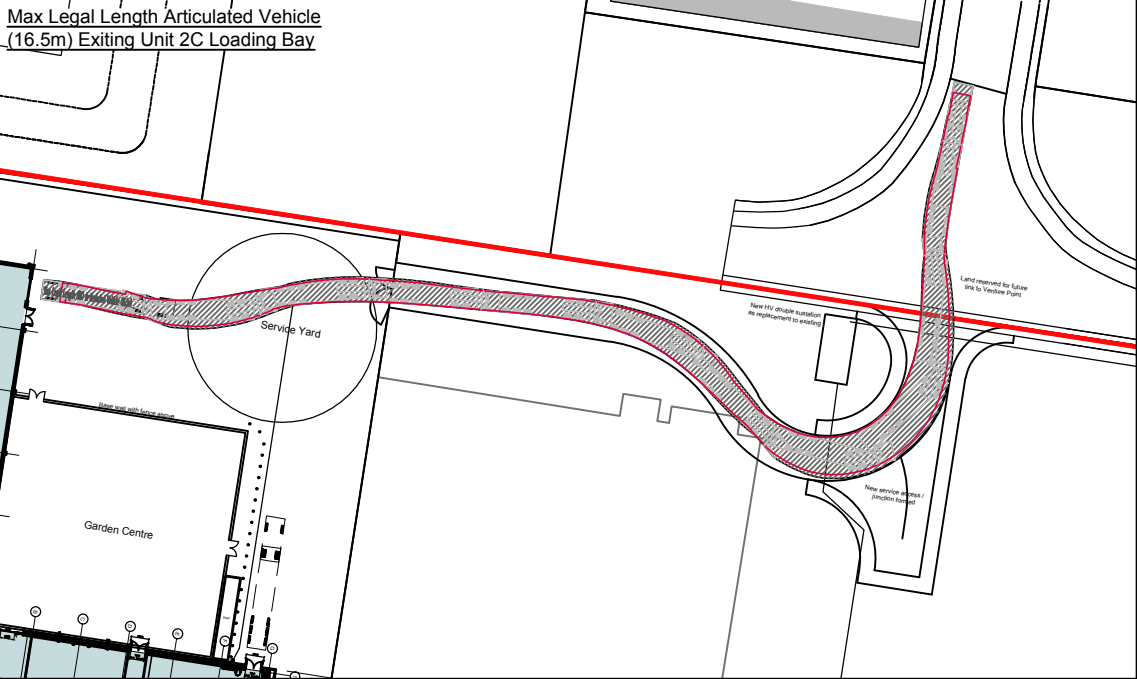
Max Legal Length Articulated Vehicle
(16.5m) Exiting Southern Loading Bay



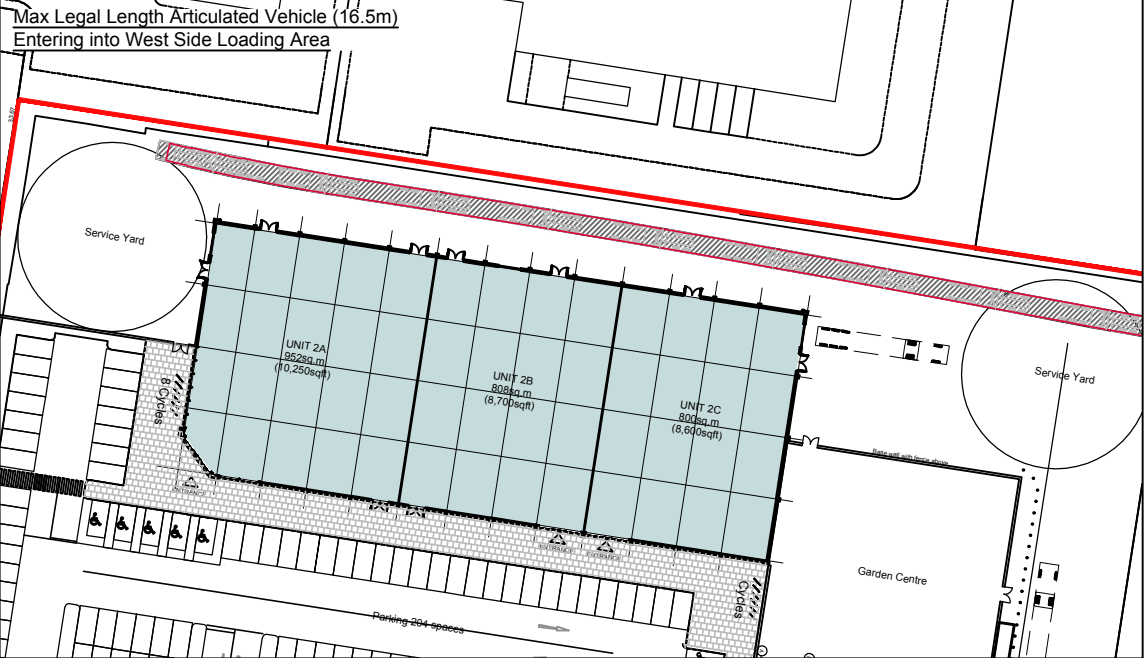
Max Legal Length Articulated Vehicle (16.5m)
Entering into Unit 2C Loading Bay



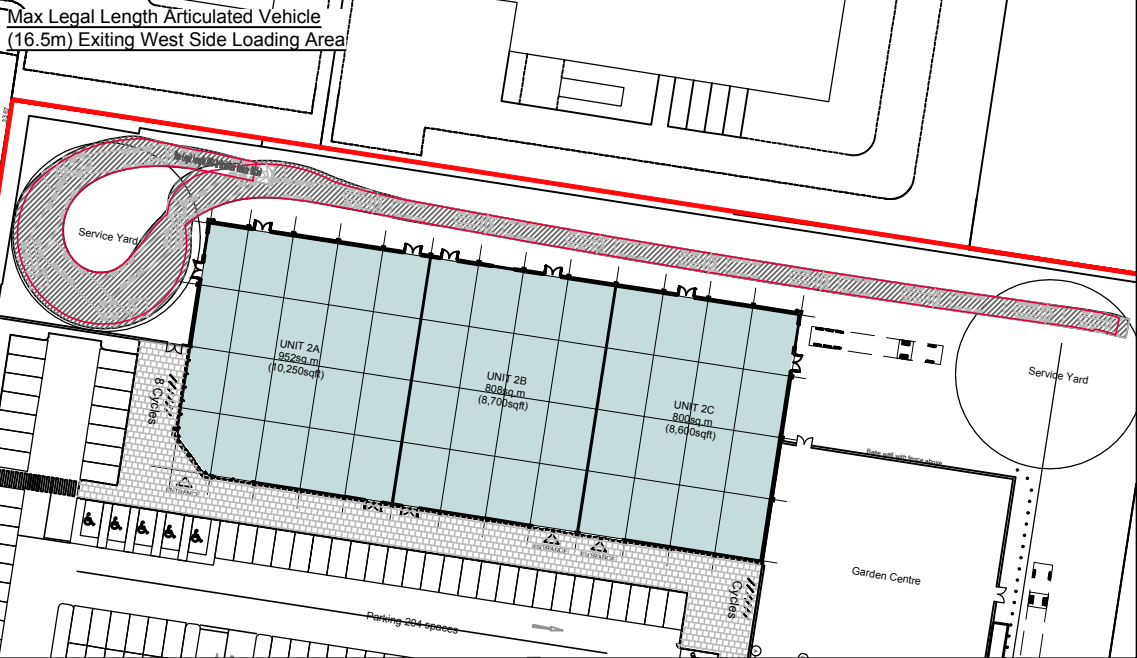
Max Legal Length Articulated Vehicle
(16.5m) Exiting Unit 2C Loading Bay



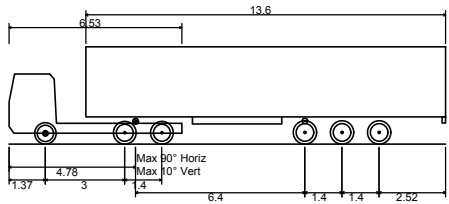
Max Legal Length Articulated Vehicle (16.5m)
Entering into West Side Loading Area



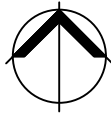
Max Legal Length Articulated Vehicle
(16.5m) Exiting West Side Loading Area



Notes;
1.This drawing is based upon drawing number 4098 / AL(0)003 supplied by Brackwell Stirling and Icen Projects Ltd. shall not be liable for any inaccuracies or deficiencies.



Max Legal Length (UK) Articulated Vehicle (16.5m)
Overall Length 16.500m
Overall Width 2.550m
Overall Body Height 3.681m
Min Body Ground Clearance 0.411m
Max Track Width 2.500m
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 6.530m



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Client

Home Bargains

Project

Speke Boulevard, Liverpool

Title

Swept Path Analysis - 16.5m Artic Vehicle

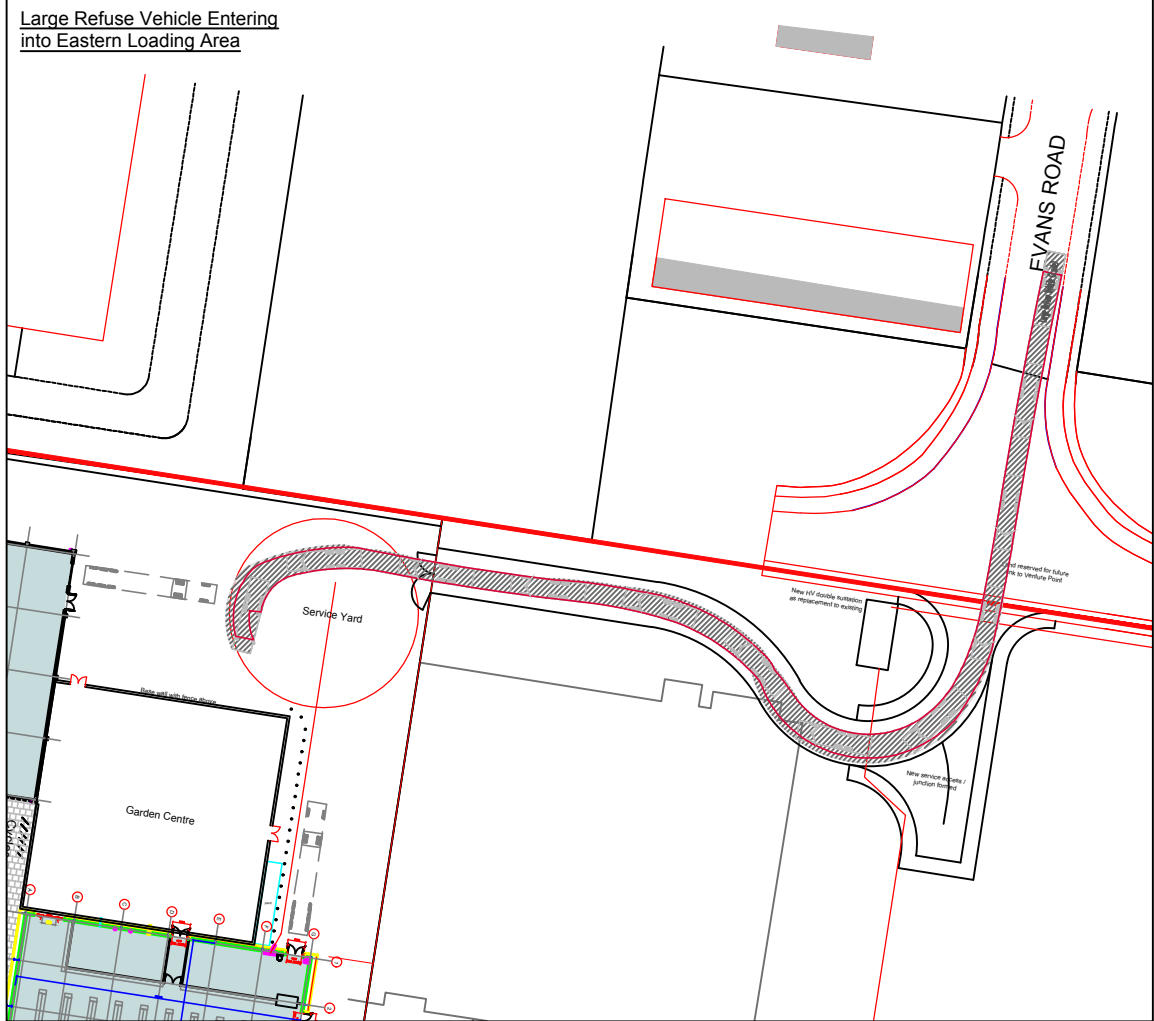
Drawn By TG	Checked By RJ 08.04.2016	Approved By SP 08.04.2016
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Scale @ A3 1:1,000	Date 08.04.2016
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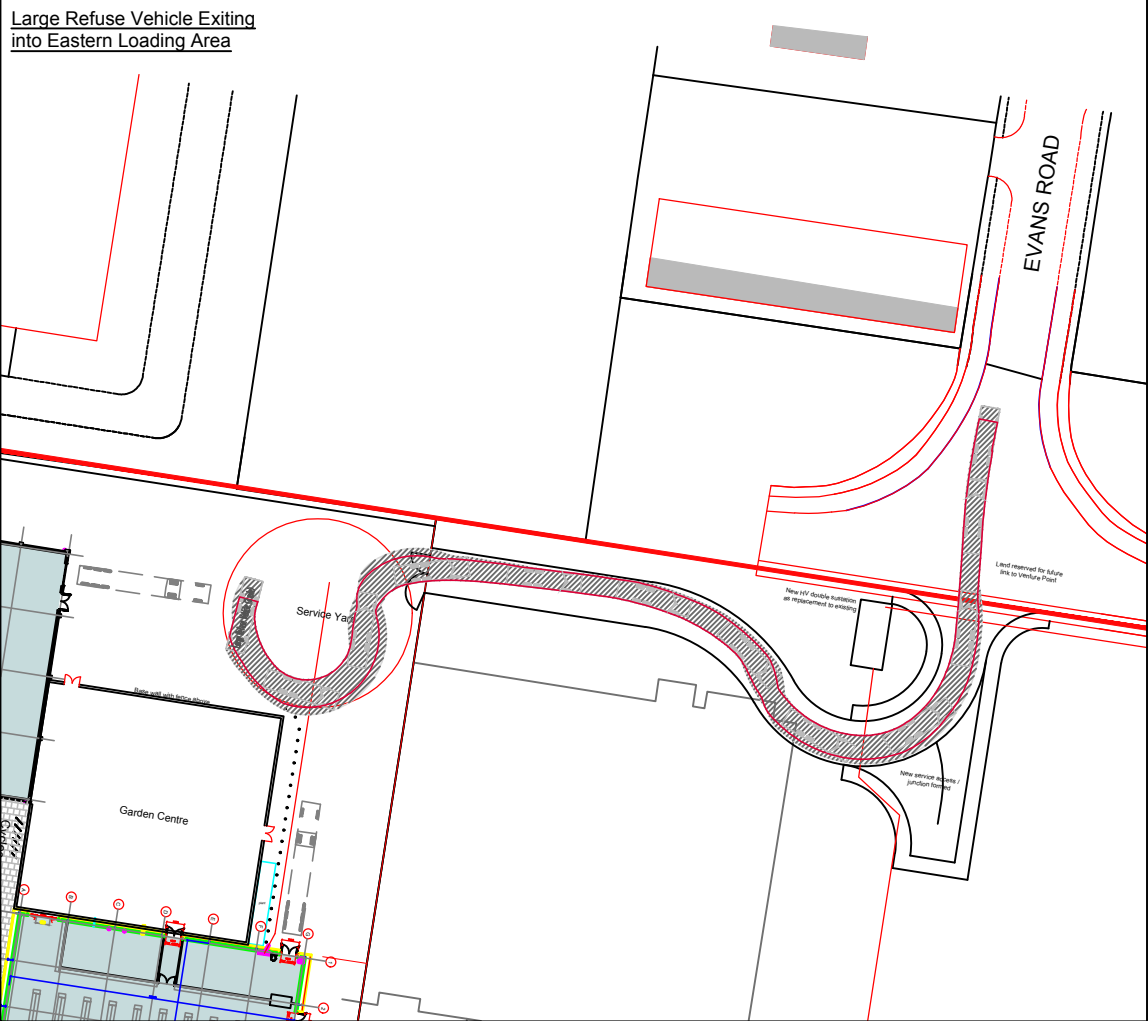
Project No. 12-T088	Drawing No. 09.1	Rev. -
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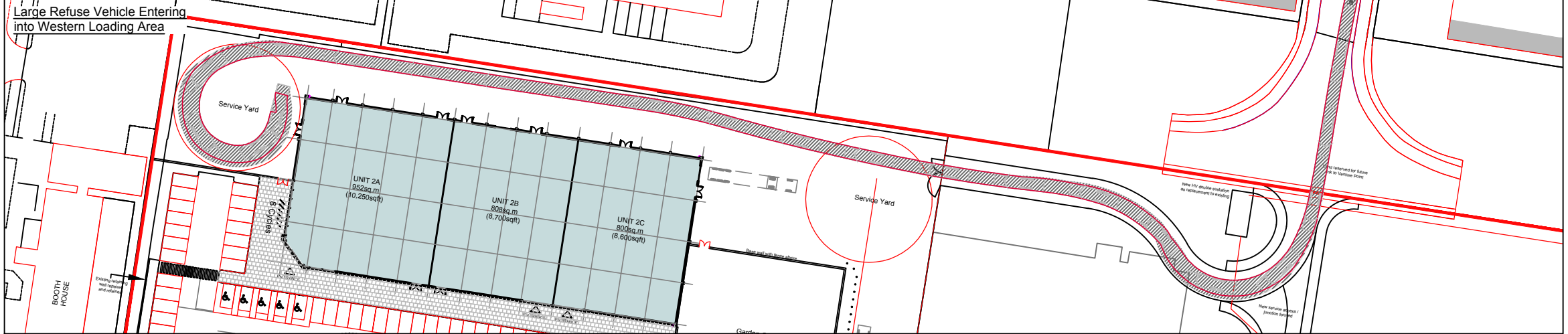
Large Refuse Vehicle Entering into Eastern Loading Area



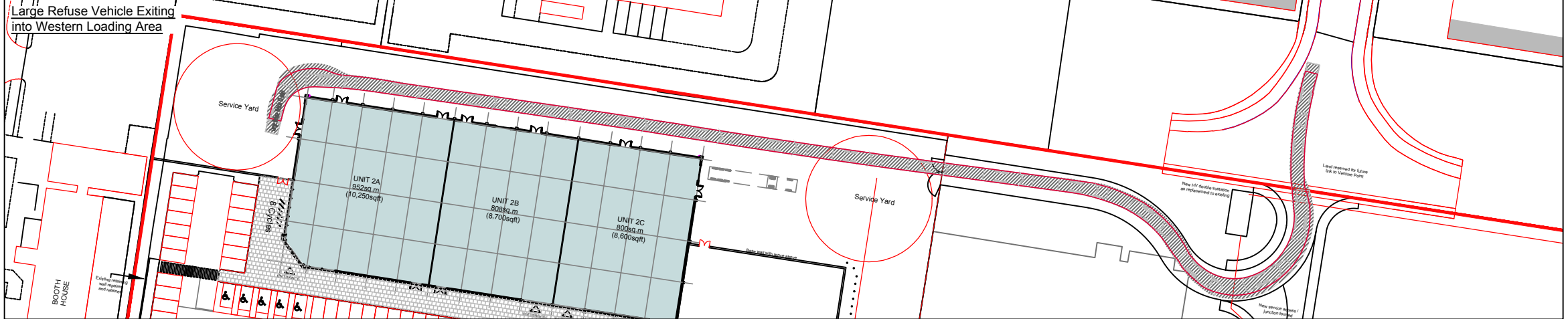
Large Refuse Vehicle Exiting into Eastern Loading Area



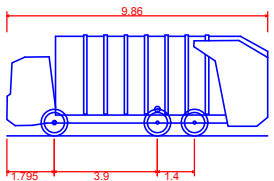
Large Refuse Vehicle Entering into Western Loading Area



Large Refuse Vehicle Exiting into Western Loading Area



Notes;
1.This drawing is based upon drawing number 4098 / AL(0)003 supplied by Brackwell Stirling and Icen Projects Ltd. shall not be liable for any inaccuracies or deficiencies.



Large Refuse Vehicle (3 axle)
Overall Length 9.860m
Overall Width 2.450m
Overall Body Height 3.814m
Min Body Ground Clearance 0.366m
Track Width 2.450m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 9.500m



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Client

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Speke Boulevard, Liverpool

Title

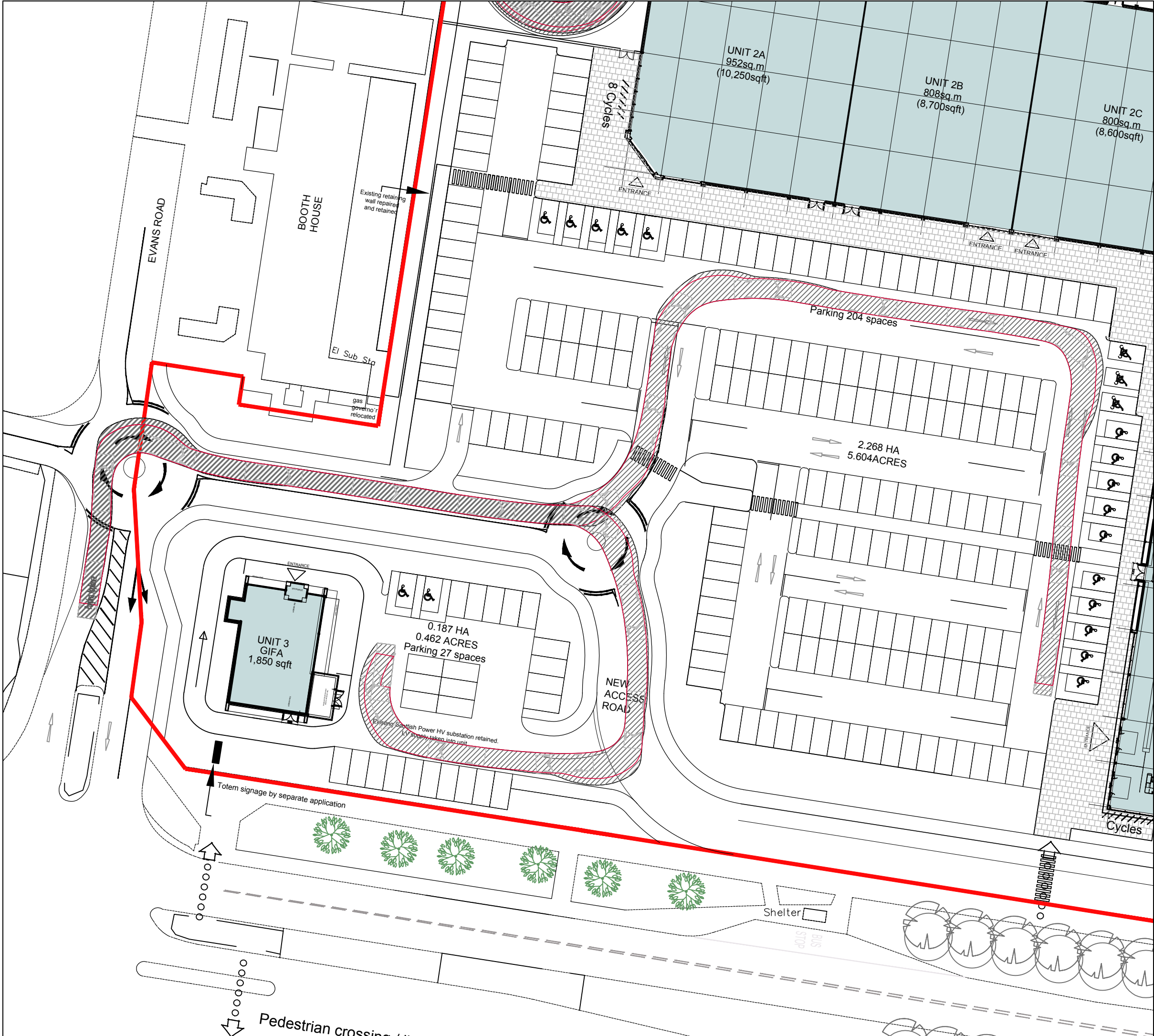
Swept Path Analysis - Refuse Vehicle

Drawn By TG	Checked By RJ 08.04.2016	Approved By SP 08.04.2016
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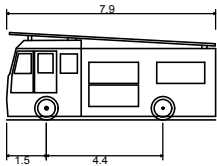
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Project No. 12-T088	Drawing No. 09.2	Rev. -
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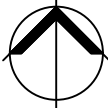
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Notes;
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Pumping Appliance	
Overall Length	7.900m
Overall Width	2.500m
Overall Body Height	3.300m
Min Body Ground Clearance	0.140m
Track Width	2.500m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	7.750m



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Client

Home Bargains

Project

Speke Boulevard, Liverpool

Title

Swept Path Analysis - Fire Tender

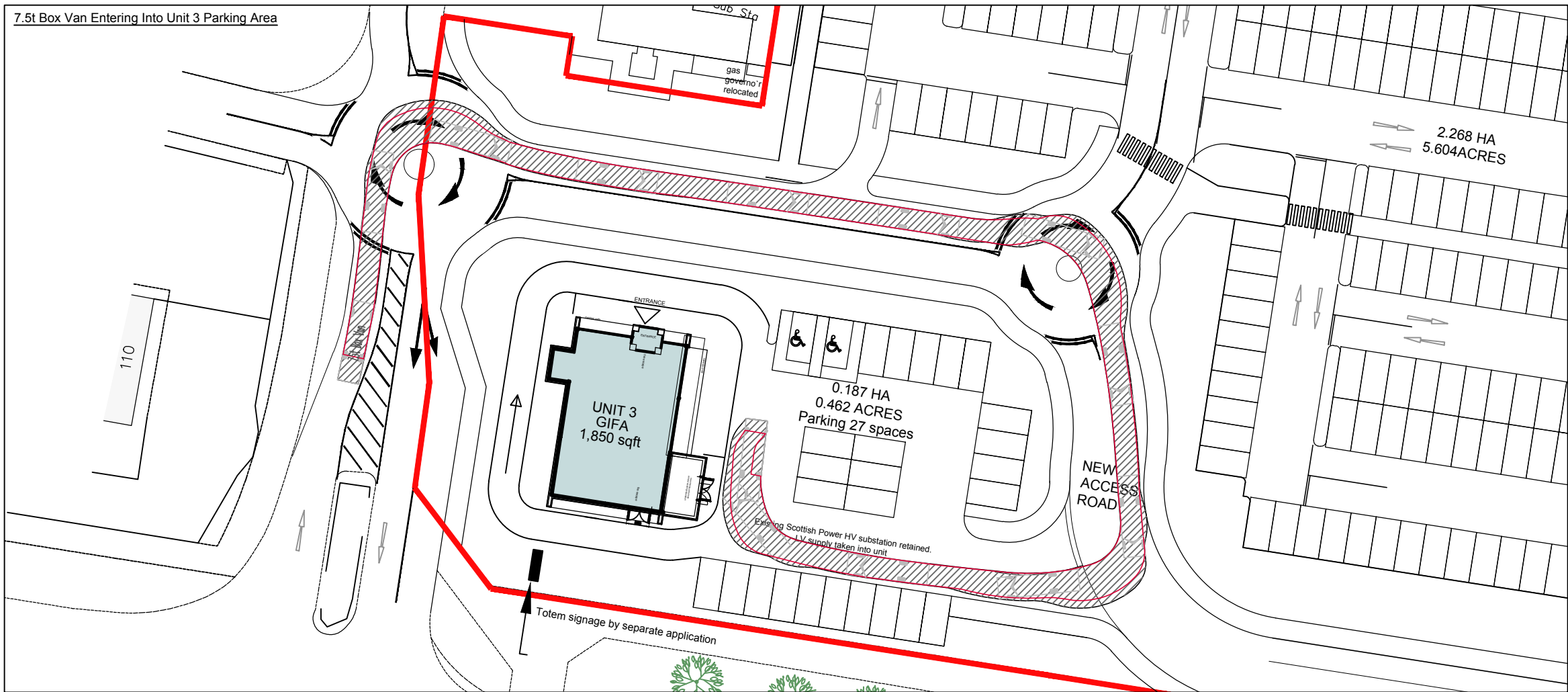
Drawn By	Checked By	Approved By
TG	RJ	SP
	08.04.2016	08.04.2016

Scale @ A3	Date
1:500	08.04.2016

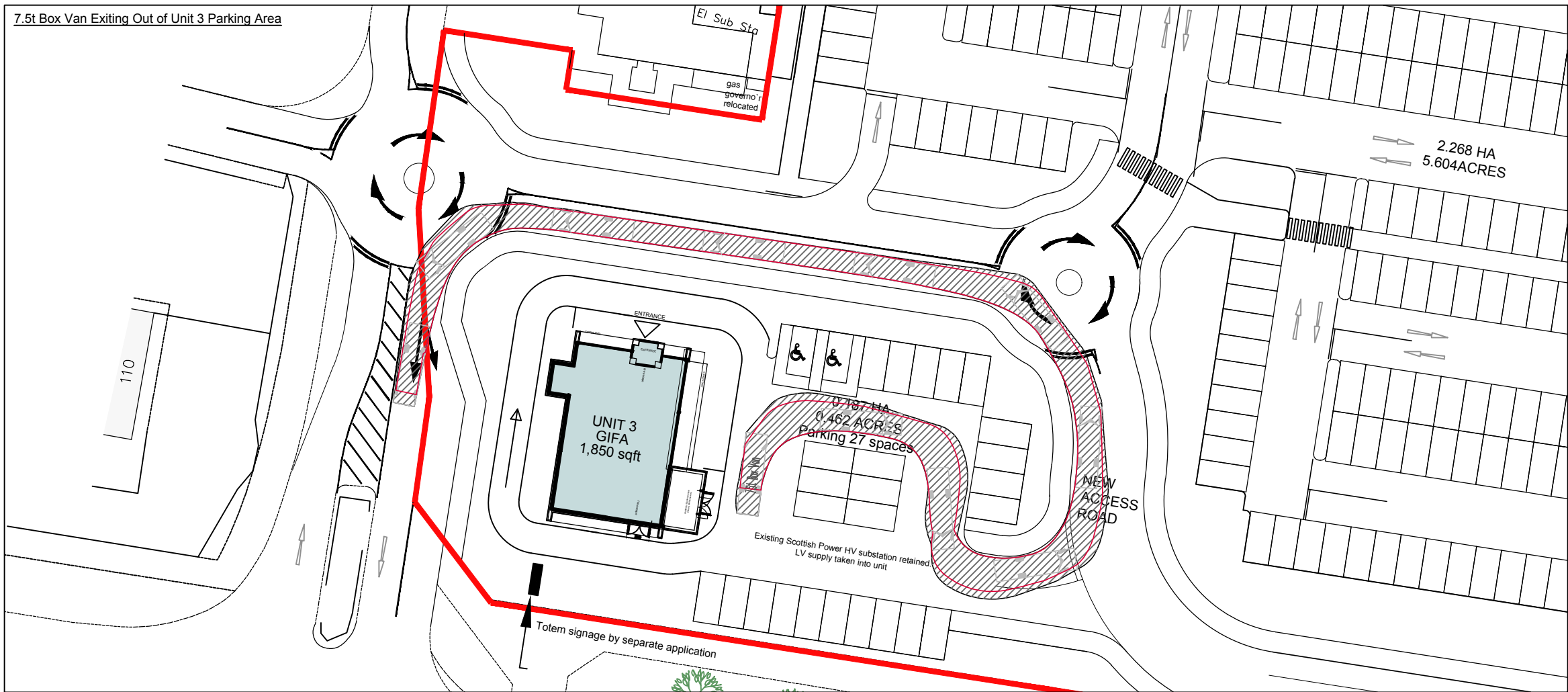
Project No.	Drawing No.	Rev.
12-T088	09.3	-

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7.5t Box Van Entering Into Unit 3 Parking Area

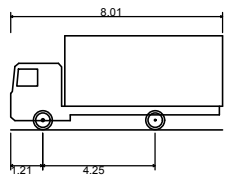


7.5t Box Van Exiting Out of Unit 3 Parking Area



Notes;

1.This drawing is based upon drawing number 4098 / AL(0)003 supplied by Brackwell Stirling and Icen Projects Ltd. shall not be liable for any inaccuracies or deficiencies.



7.5t Box Van
Overall Length 8.010m
Overall Width 2.100m
Overall Body Height 3.556m
Min Body Ground Clearance 0.351m
Track Width 2.064m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 7.400m



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Client _____

Home Bargains

Project _____

Speke Boulevard, Liverpool

Title _____

Swept Path Analysis - 7.5t Box Van

Drawn By TG	Checked By RJ 11.04.2016	Approved By SP 11.04.2016
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Scale @ A3 1:500	Date 11.04.2016
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Project No. 12-T088	Drawing No. 09.4	Rev. -
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A7. MINIMUM ACCESSIBILITY STANDARD ASSESSMENT

3 Minimum Accessibility Standard Assessment

Address: Former Rayware Site, Speke Boulevard, Liverpool				
Completed By: Icen Projects Ltd				
Access Diagram				
Has a diagram been submitted which shows how people move to and through the development and how this links to the surrounding roads, footpaths and sight lines? (This can be included within the Design and Access Statement, see Section 2.25.) If a diagram has not been submitted your application may not be processed.				Yes / No
Access on Foot			Points	Score
Safety	Is there safe pedestrian access to and within the site, and for pedestrians passing the site (2m minimum width footpath on both sides of the road)? If no your application must address safe pedestrian access.			Yes / No
Location	<u>Housing Development:</u> Is the development within 500m of a district or local centre (see Accessibility Map 1 in Appendix F) <u>Other development:</u> Is the density of existing local housing (i.e. within 800m) more than 50 houses per hectare (see Accessibility Map 4 in Appendix F)	Yes	2	
		No	0	
Internal Layout	Does 'circulation' and access inside the sites reflect direct, safe and easy to use pedestrian routes for all; with priority given to pedestrians when they have to cross roads or cycle routes?	Yes	1	
		No	0	
External Layout	Are there barriers between site and local facilities or housing which restrict pedestrian access? (see Merseyside Code of Practice on Access and Mobility) e.g. - No dropped kerbs at crossings or on desire lines; - Steep gradients; - A lack of a formal crossing where there is heavy traffic; - Security concerns, e.g. lack of lighting.	There are barriers	-2	
		There are no barriers	1	
Other	The development links to identified recreational walking network (see Accessibility Map 1). If no, please provide reasons why not.			Yes / No
			Total (B)	2
Summary	Box A: Minimum Standard (from Table 3.1)	A1 = 4 B8 = 2	Comments or action needed to correct any shortfall Housing in Speke with a density of 30 to 50 per ha is located within 800m of the site and is accessible via a signal crossing adjacent to the site	
	Box B: Actual Score	2		

Access by Cycle				Points	Score
Safety	Are there safety issues for cyclists either turning into or out of the site or a road junctions within 400m of the site (e.g. dangerous right turns for cyclists due to the level of traffic)? If yes, you must address safety issues in your application.				Yes ☒ No ☐
Cycle Parking	Does the development meet cycle parking standards, in a secure location with natural surveillance, or where appropriate contribute to communal cycle parking facilities? If no, you must address cycle parking standards and cycle parking facilities.				Yes ☐ No ☒
Location	<u>Housing Development</u> : Is the development within 1 mile of a district or local centre (see Accessibility Map 1) <u>Other Development</u> : Is the density of local housing (e.g. within 1 mile) more than 50 houses per hectare (see Accessibility Map 4 in Appendix F)	Yes ☒	2		
		No ☐	0		
Internal layout	Does 'circulation' and access inside the site reflect direct and safe cycle routes; with priority given to cyclists where they meet motor vehicles?	Yes ☒	1		
		No ☐	0		
External Access	The development is within 400m of an existing or proposed cycle route (see Accessibility Map 1 in Appendix F) and / or proposes to create a link to a cycle route, or develop a route?		1 ☒		
	The development is not within 400m of an existing or proposed cycle route (see Accessibility Map 1 in Appendix F)		-1 ☒		
Other	Development includes shower facilities and lockers for cyclists	Yes ☐	1 ☒		
		No ☐	0		
				Total (B)	3
Summary	Box A: Minimum Standard (From Table 3.1)	A1 = 3 B8 = 2	Comments or action needed to correct any shortfall		

3 Minimum Accessibility Standard Assessment

	Box B: Actual Score			
Access by Public Transport			Points	Score
Location and access to public transport	Is the site within a 200m safe and convenient walking distance of a bus stop, and/or within 400m of a rail station? (See Accessibility Map 2 in Appendix F).	Yes	2	
		No	0	
	Are there barriers on direct and safe pedestrian routes to bus stops or rail stations i.e. • A lack of dropped kerbs; • Pavements less than 2m wide; • A lack of formal crossings where there is heavy traffic; or • Bus access kerbs.	There are barriers	0	
		There are no barriers	1	
Frequency	High (four or more bus services or trains an hour)		2	
	Medium (two or three bus services or trains an hour)		1	
	Low (less than two bus services or trains an hour)		0	
Other	The proposal contributes to bus priority measures serving the site		1	
	The proposal contributes to bus stops, bus interchange or bus or rail stations in the vicinity and/or provides bus stops or bus interchange in the site		1	
	The proposal contributes to an existing or new bus service		1	
			Total (B):	

Summary	Box A: Minimum Standard (from Table 3.1)	A1 = 4 B8 = 4	Comments or action needed to correct any shortfall	
	Box B: Total Score	5		
Vehicle Access and Parking			Points	Score
Vehicle access and circulation	Is there safe access to and from the road? If no, you must address safety issues.			Yes / No
	Can the site be adequately serviced? If no, you must address service issues.			Yes / No
	Is the safety and convenience of other users (pedestrians, cyclists and public transport) affected by the proposal? If yes, you must address safety issues.			Yes / No
	Has access for the emergency services been provided? If no, you must provide emergency service provision.			Yes / No
	For development which generates significant freight movements, is the site easily accessed from the road or rail freight route networks (i.e. minimising the impact of traffic on local roads and neighbourhoods) (see Accessibility Map 3 in Appendix F)? If no, please provide an explanation.			Yes / No
Parking	The off-street parking provided is more than advised in Section 4 for that development type. If yes, parking provision must be reassessed.			Yes / No



3 Minimum Accessibility Standard Assessment

	The off-street parking provided is as advised in Section 4 for that development type		1	Yes / No
	The off-street parking provided is less than 75% of the amount advised in Section 4 for that development type (or shares parking provision with another development)		2	Yes / No
	For development in controlled parking zones:			Yes / No
	●	Is it a car free development?	1	Yes / No
	●	Supports the control or removal of on-street parking spaces (inc provision of disabled spaces), or contributes to other identified measures in the local parking strategy (including car clubs)	1	Yes / No
Total (B):				
Summary	Box A: Minimum Standard (From Table 3.1)		Comments or action needed to correct any shortfall. If conditions are appropriate for the reduced level of parking (see section 4), but this has not been provided, please explain why.	

A8. TRAFFIC FLOW DIAGRAMS

Speke Boulevard, Liverpool - Traffic Generation

Vehicle Trip Rates - Retail Park

Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday			
0745-0845	0.840	0.640	1.480
1630-1730	1.755	2.075	3.830
Sat			
1345-1445	5.476	5.238	10.714

GFA 4262 Reduced by 10% for linked trips

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	36	27	63
1630-1730	75	88	163
Sat			
1345-1445	233	223	457

Passby		Weekday 25%	Saturday 15%
Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	9	7	16
1530-1630	19	22	41
Sat			
1315-1415	35	33	68

Diverted		Weekday 15%	Saturday 5%
Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	5	4	9
1530-1630	11	13	24
Sat			
1315-1415	12	11	23

New Trips

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	21	16	38
1530-1630	45	53	98
Sat			
1315-1415	187	179	365

	Proposed Development			Venture Point			Total		
	Arrivals	Departures	Two-way	Arrivals	Departures	Two-way	Arrivals	Departures	Two-way
Weekday									
0745-0845	221	79	300	102	27	129	323	105	429
1530-1630	135	244	379	34	57	91	169	301	469
Sat									
1315-1415	239	230	469				239	230	469

NTM Growth Rates			
		2016 - 2021	2016-2026
AM		1.0690	1.1324
PM		1.0685	1.1324
Sat		1.0680	1.1324

Vehicle Trip Rates - Restaurant

Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday			
0745-0845	0.000	0.000	0.000
1530-1630	2.898	3.341	6.147
Sat			
1315-1415	1.919	2.054	3.973

GFA 310 Reduced by 10% for linked trips

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	0	0	0
1530-1630	9	10	19
Sat			
1315-1415	6	6	12

Linked		Weekday 25%	Saturday 25%
Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	0	0	0
1530-1630	2	3	5
Sat			
1315-1415	1	2	3

Passby/diverted		Weekday 25%	Saturday 25%
Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	0	0	0
1530-1630	2	3	5
Sat			
1315-1415	1	2	3

New Trips

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	0	0	0
1530-1630	4	5	10
Sat			
1315-1415	3	3	6

Vehicle Trip Rates - Business Park

Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday			
0745-0845	2.058	0.570	2.628
1530-1630	0.570	1.611	2.181
Sat			
1345-1445	0.477	0.372	0.849

GFA 9000

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	185	51	237
1630-1730	51	145	196
Sat			
1345-1445	43	33	76

Vehicle Trip Rates - B1 Light

Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday			
0745-0845	0.661	0.251	0.912
1530-1630	0.284	0.502	0.786

GFA 0

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	0	0	0
1530-1630	0	0	0

Total	7750
B1	1550
B8	5425
B2	775

Vehicle Trip Rates - B8

Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday			
0745-0845	0.450	0.144	0.594
1530-1630	0.169	0.232	0.401

GFA 0

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	0	0	0
1530-1630	0	0	0

Vehicle Trip Rates - B2

Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday			
0745-0845	0.447	0.095	0.542
1530-1630	0.177	0.421	0.598

GFA 0

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	0	0	0
1530-1630	0	0	0

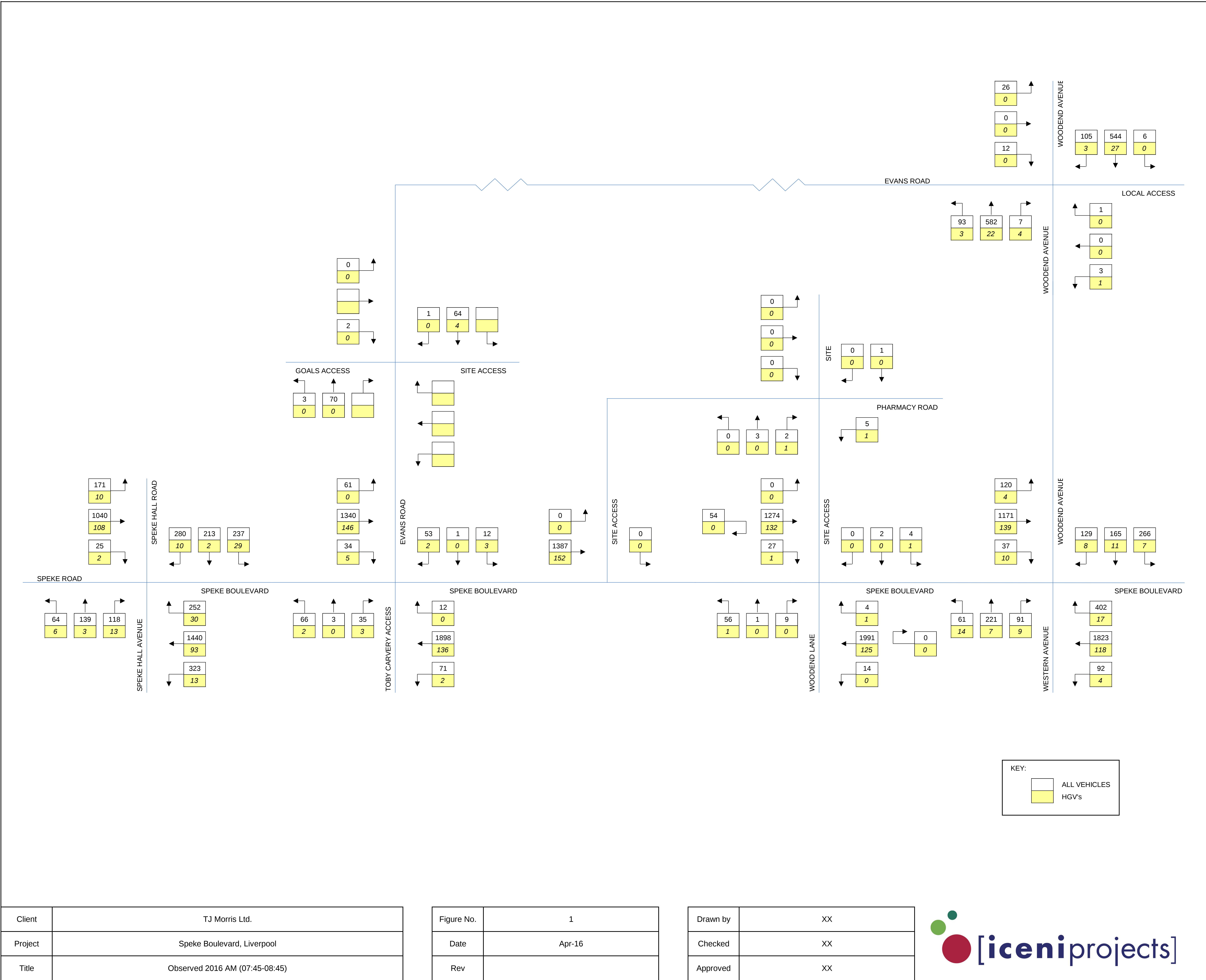
Venture point				20%				50%				30%			
Vehicle Trip Rates - B1 Office								Vehicle Trip Rates - B1 Light				Vehicle Trip Rates - B8			
Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate	Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate	Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate	Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday				Weekday				Weekday				Weekday			
0745-0845				0745-0845	0.447	0.095	0.542	0745-0845	0.661	0.251	0.912	0745-0845	0.450	0.144	0.594
1530-1630	1.451	0.143	1.594	1530-1630	0.177	0.421	0.598	1530-1630	0.284	0.502	0.786	1530-1630	0.169	0.232	0.401
GFA 2706				GFA 6765				GFA 4059							
Time Range	Arrivals Trips	Departures Trips	Two-way Trips	Time Range	Arrivals Trips	Departures Trips	Two-way Trips	Time Range	Arrivals Trips	Departures Trips	Two-way Trips	Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday				Weekday				Weekday				Weekday			
0745-0845	39	4	43	0745-0845	45	17	62	0745-0845	18	6	24	0745-0845	18	6	24
1530-1630	8	14	21	1530-1630	19	34	53	1530-1630	7	9	16	1530-1630	12	16	28

Extant Trip Rates - B2

Time Range	Arrivals Trip Rate	Departures Trip Rate	Two-way Trip Rate
Weekday			
0745-0845	0.301	0.092	0.393
1530-1630	0.053	0.285	0.338

GFA 22575

Time Range	Arrivals Trips	Departures Trips	Two-way Trips
Weekday			
0745-0845	68	21	89
1530-1630	12	64	76

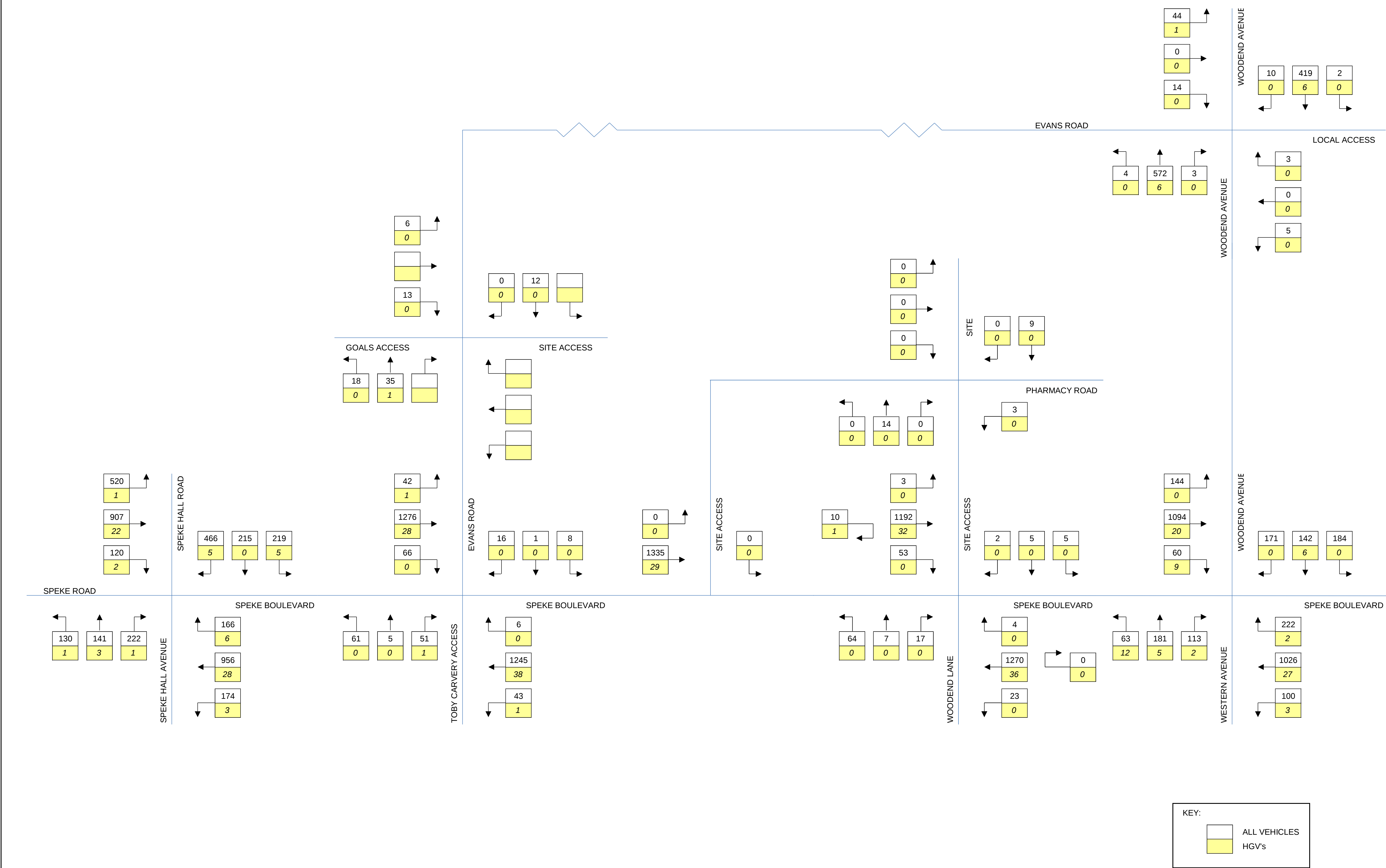


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Observed 2016 AM (07:45-08:45)

Figure No.	1
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



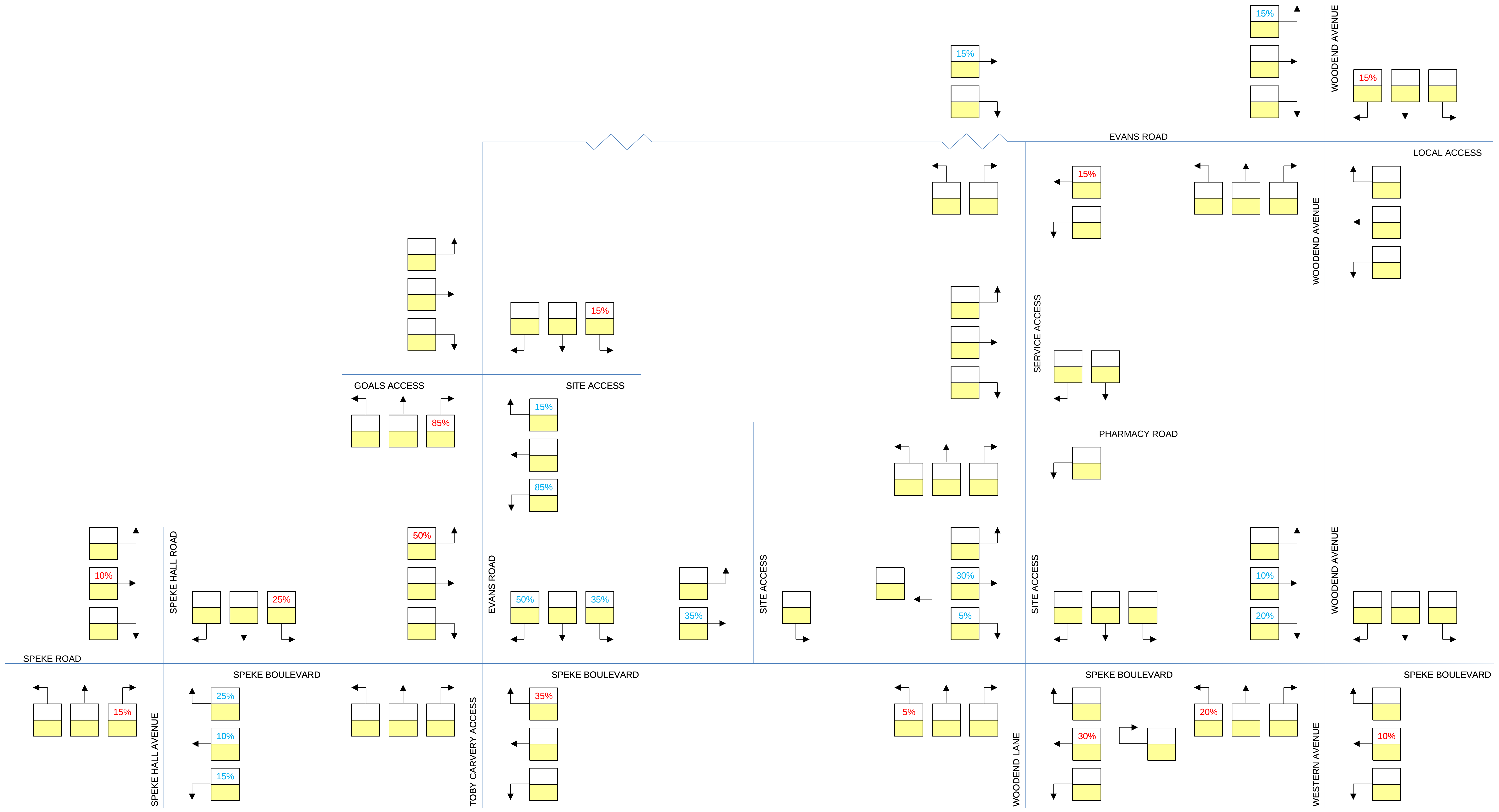


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Observed 2016 SAT (13:45-14:45)

Figure No.	1
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



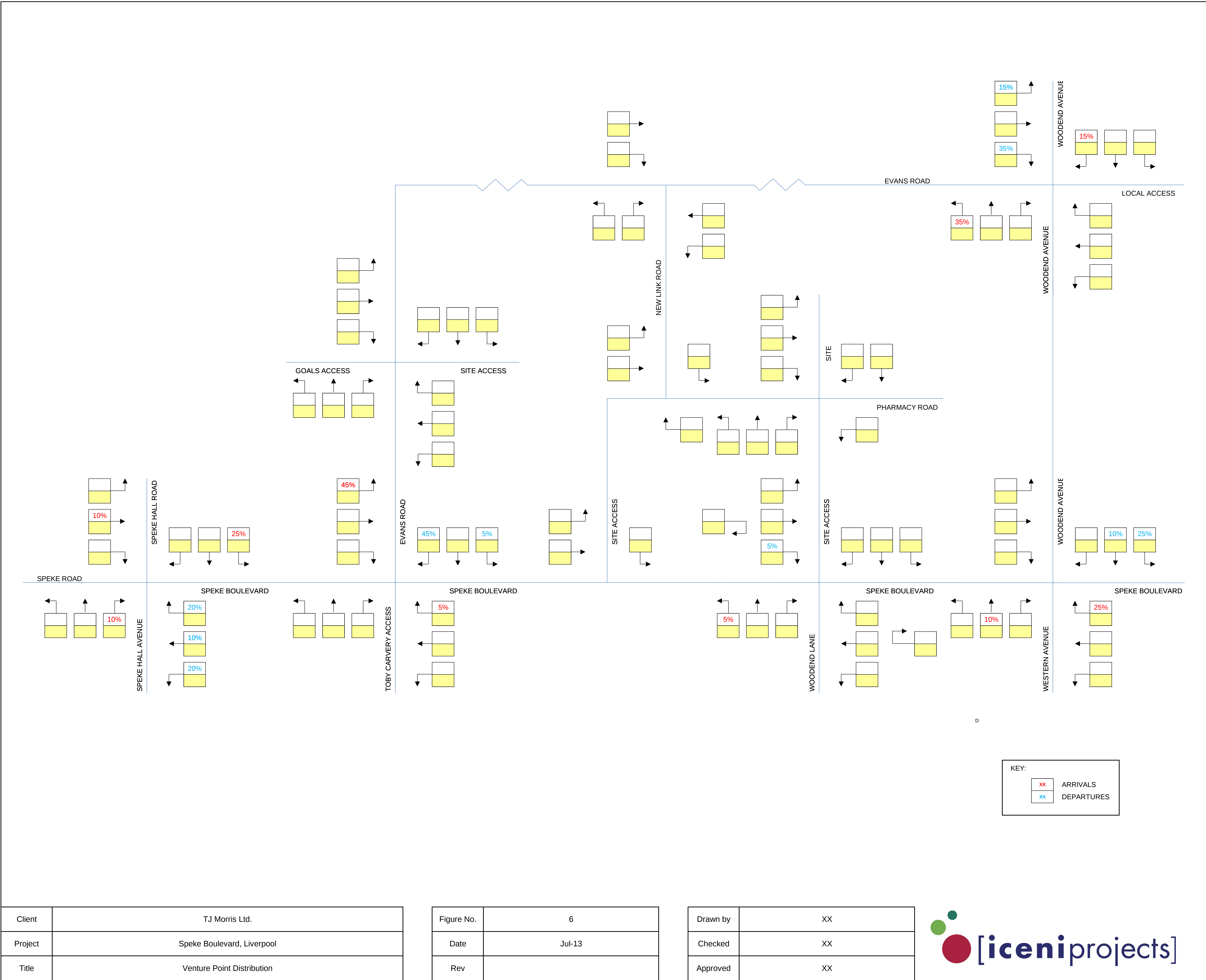


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Retail Distribution

Figure No.	4
Date	Jul-13
Rev	

Drawn by	XX
Checked	XX
Approved	XX



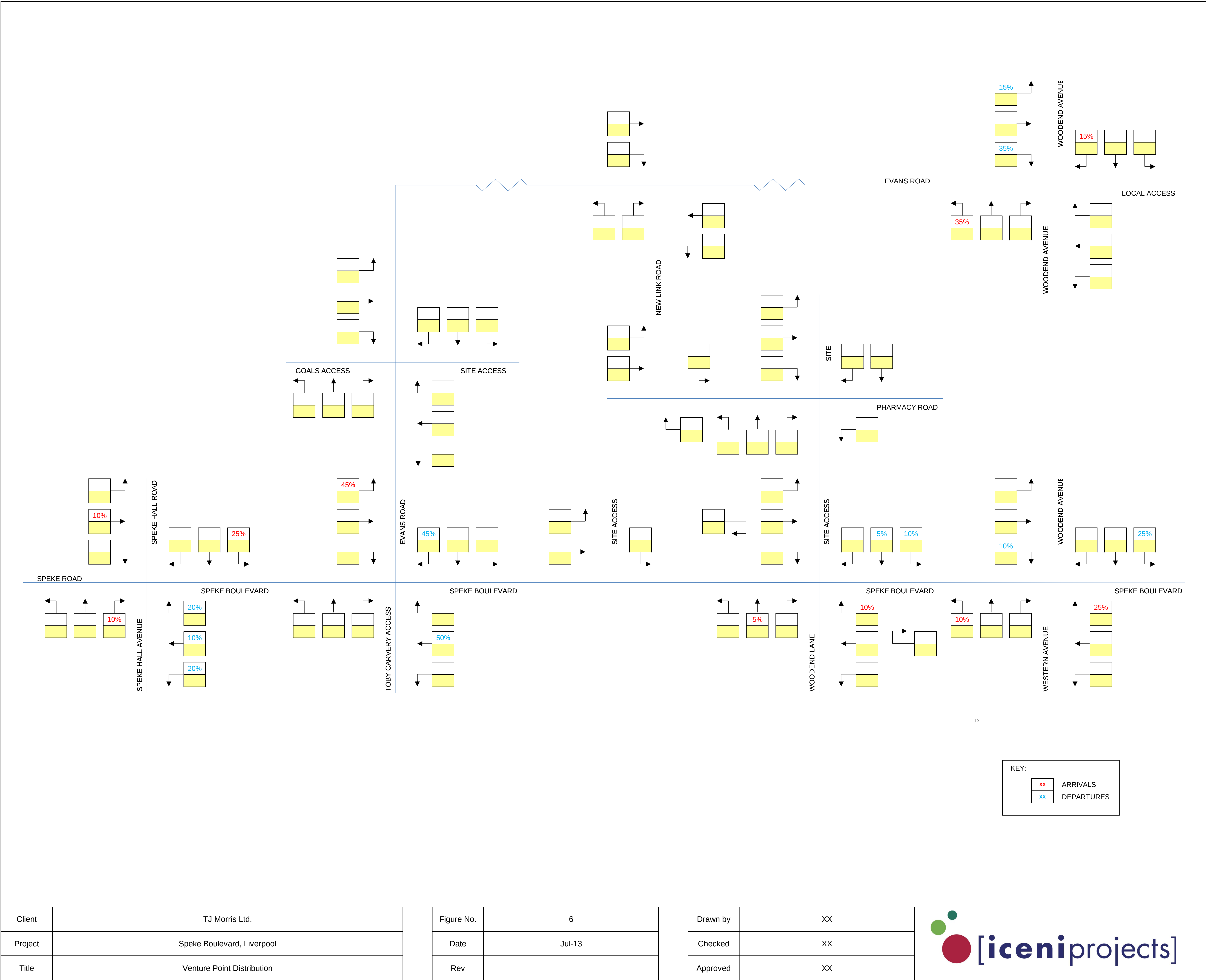


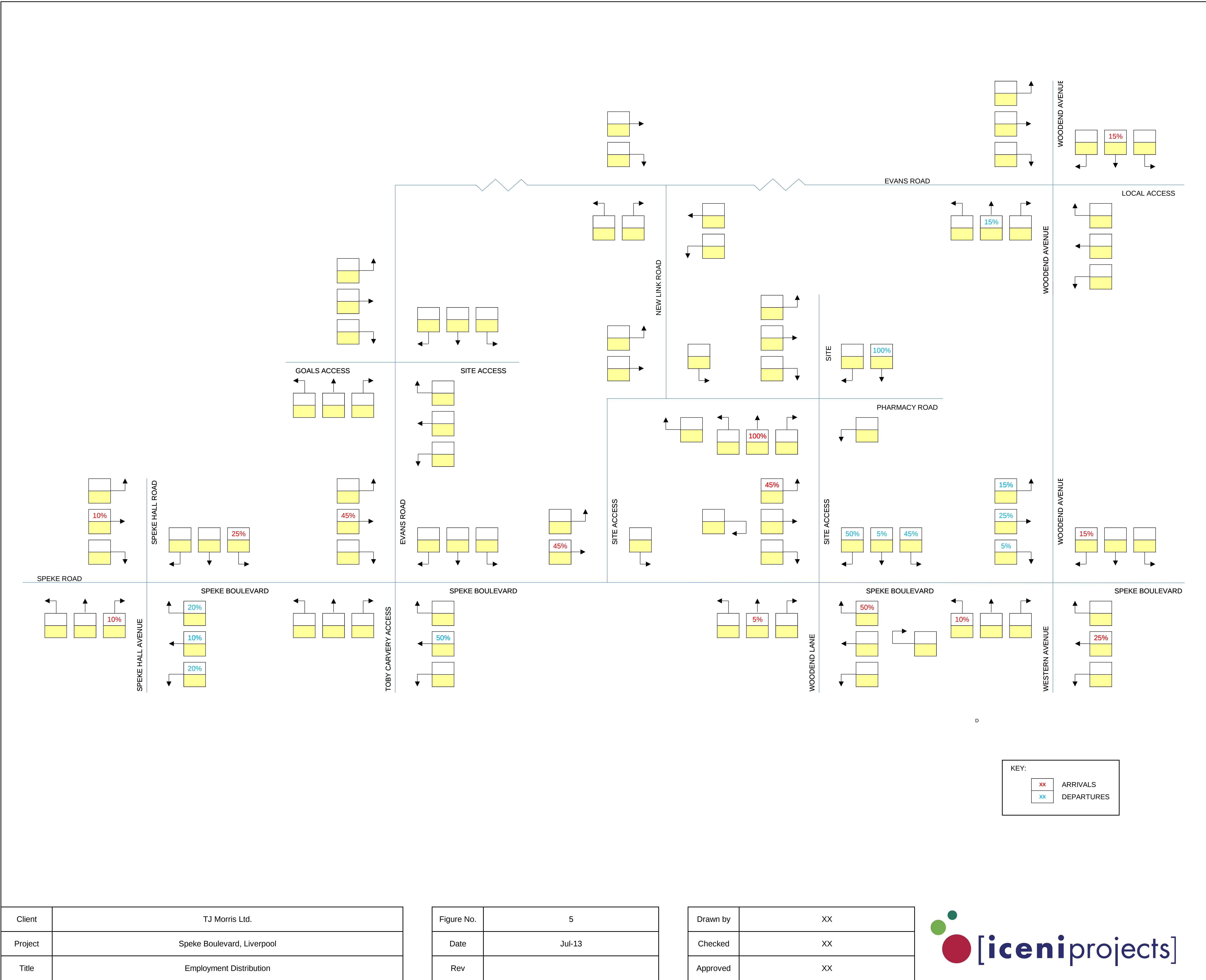
Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Venture Point Distribution

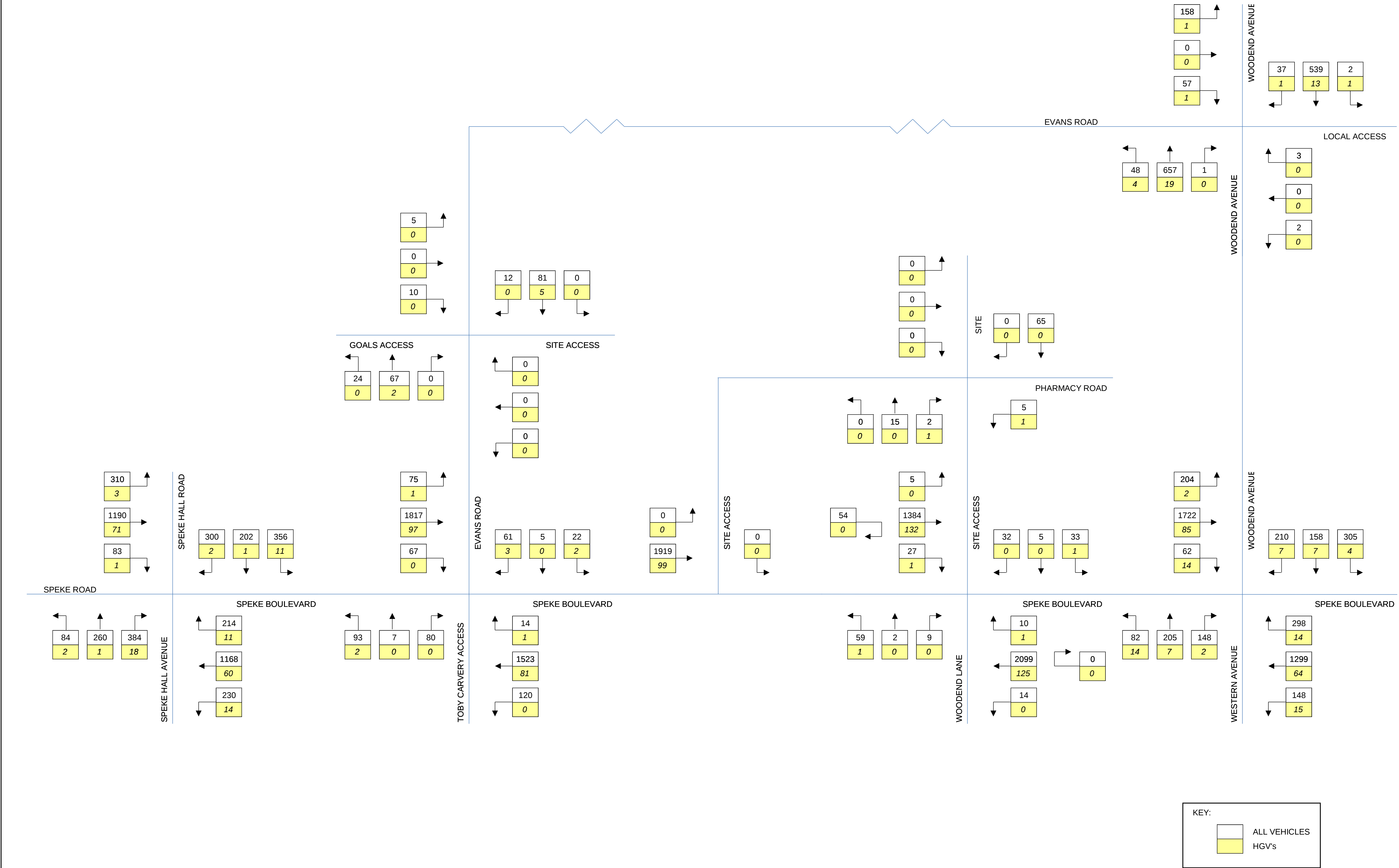
Figure No.	6
Date	Jul-13
Rev	

Drawn by	XX
Checked	XX
Approved	XX







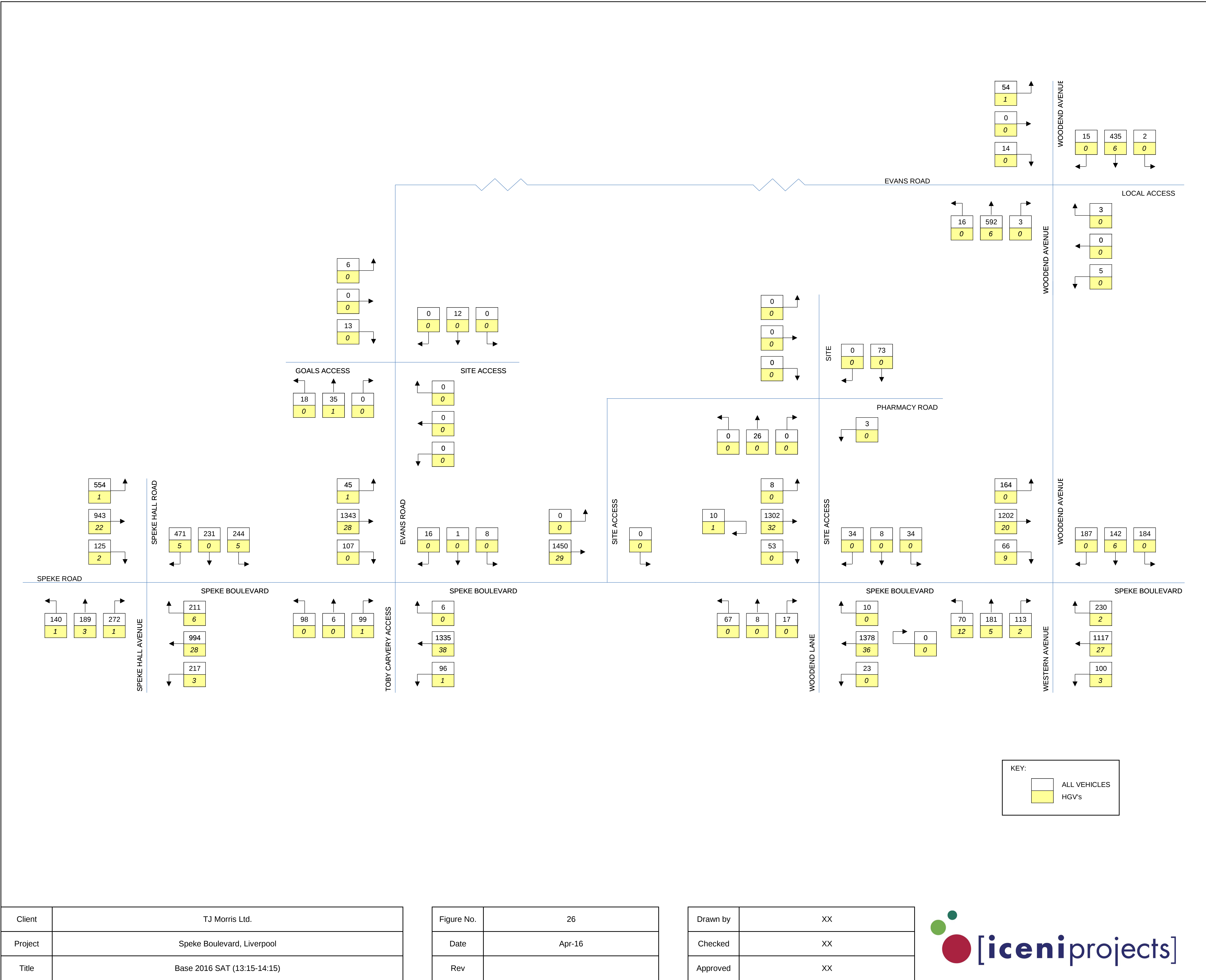


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Base 2016 PM (15:30-16:30)

Figure No.	25
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



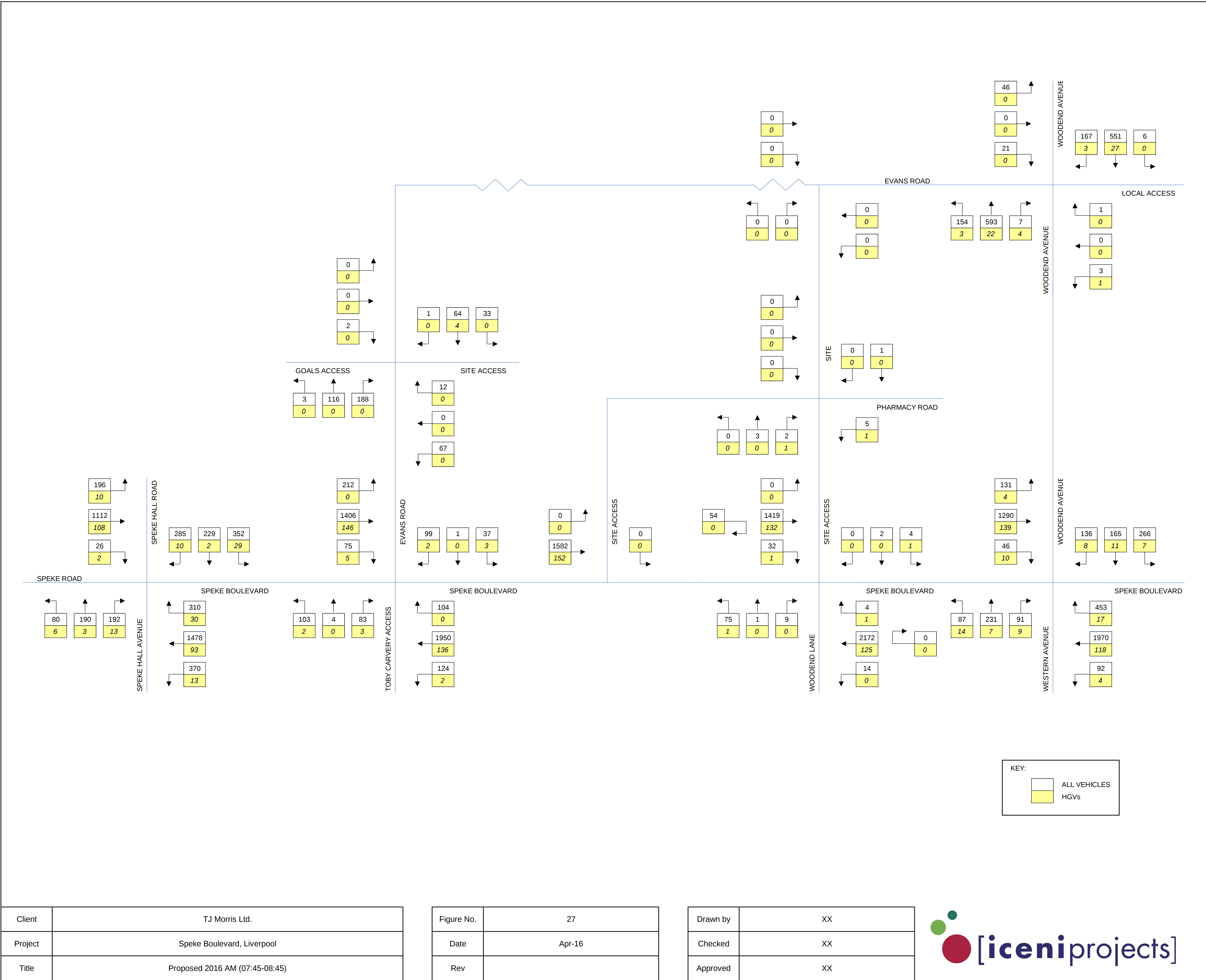


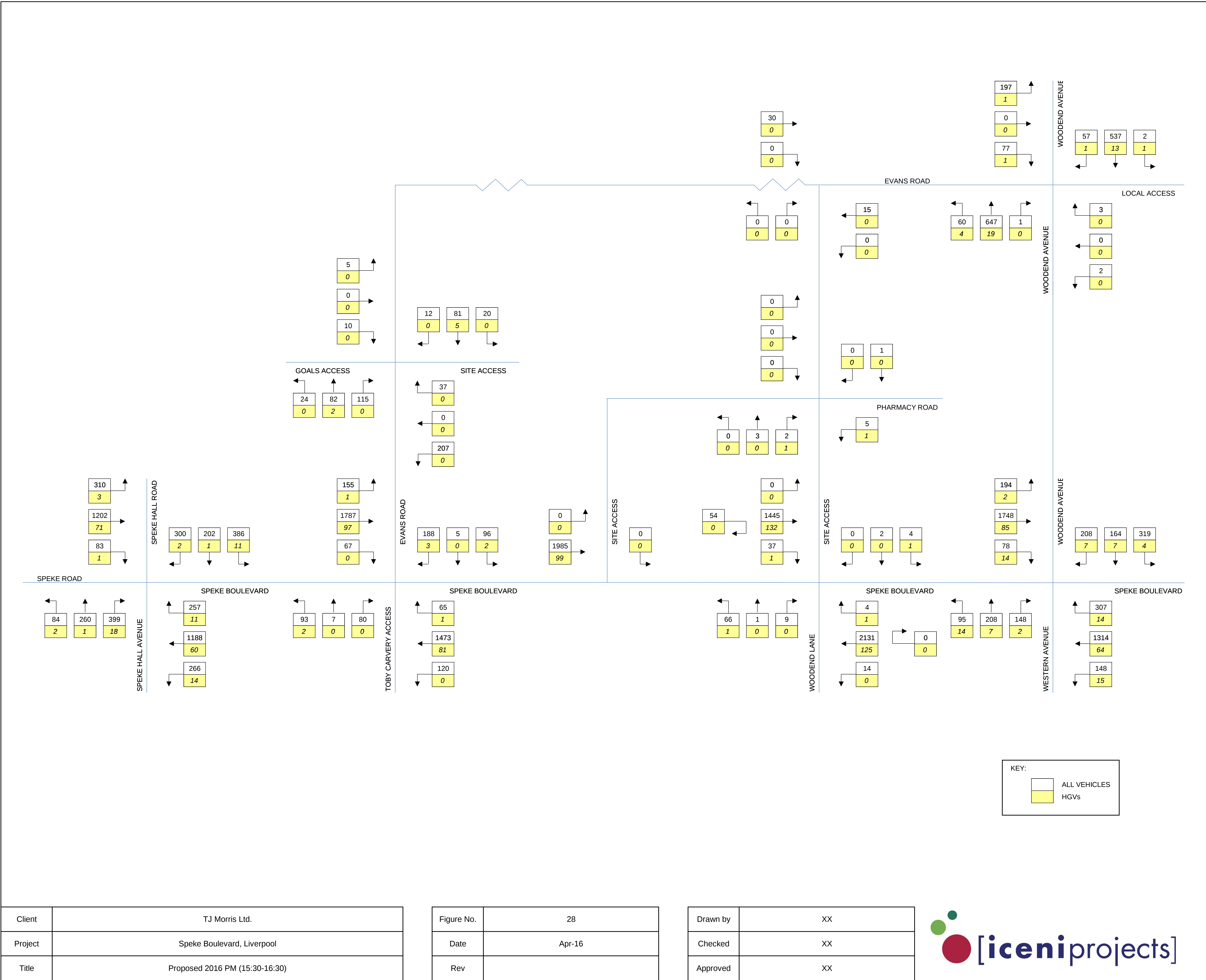
Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Base 2016 SAT (13:15-14:15)

Figure No.	26
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX





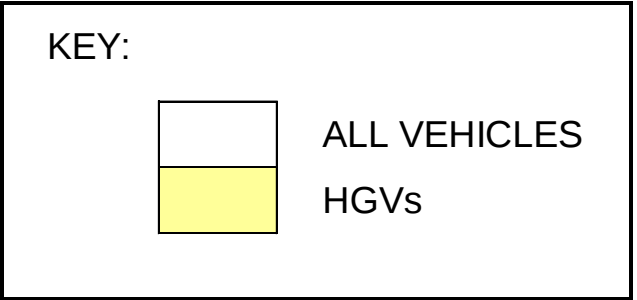
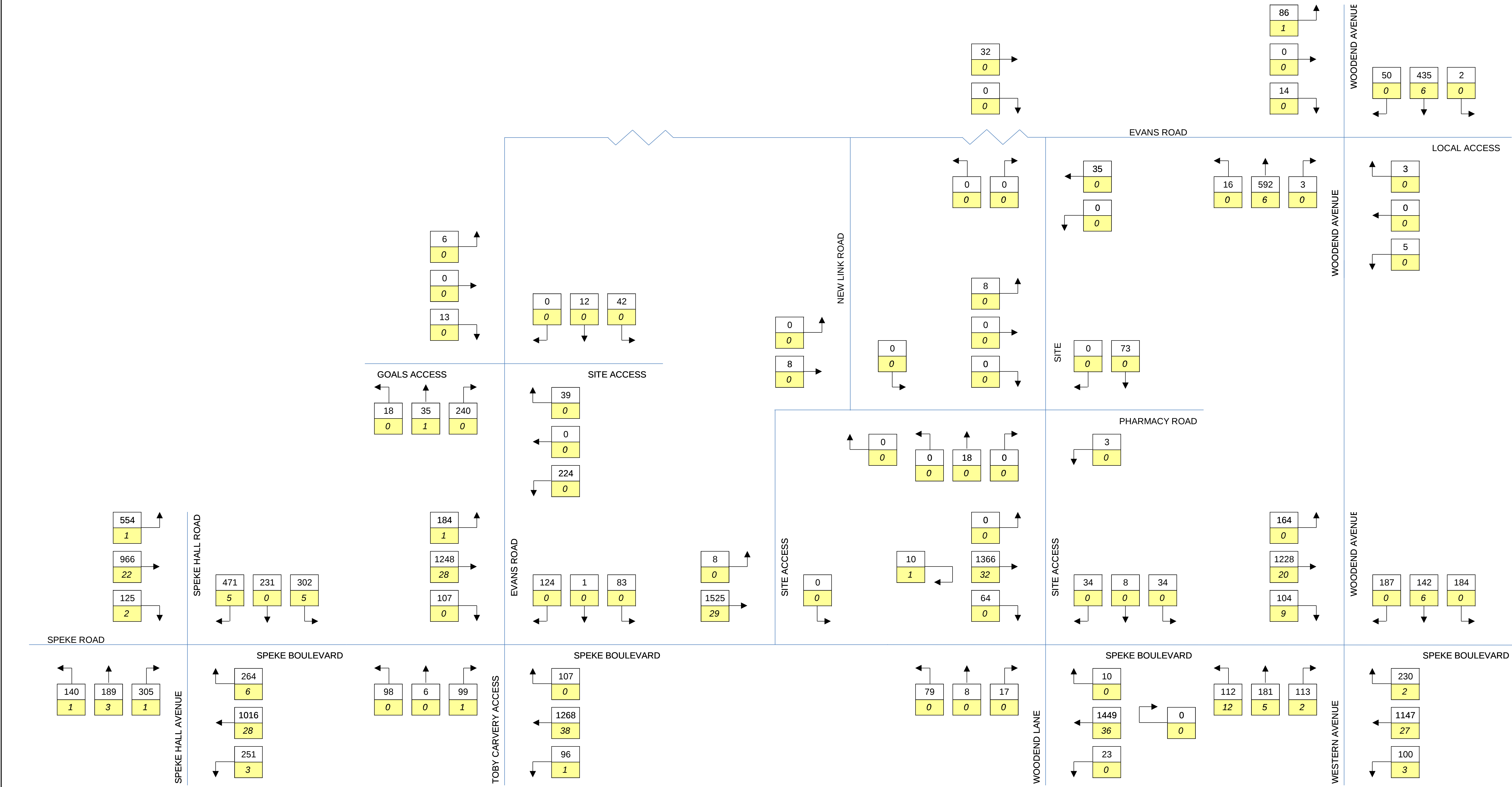


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Proposed 2016 PM (15:30-16:30)

Figure No.	28
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



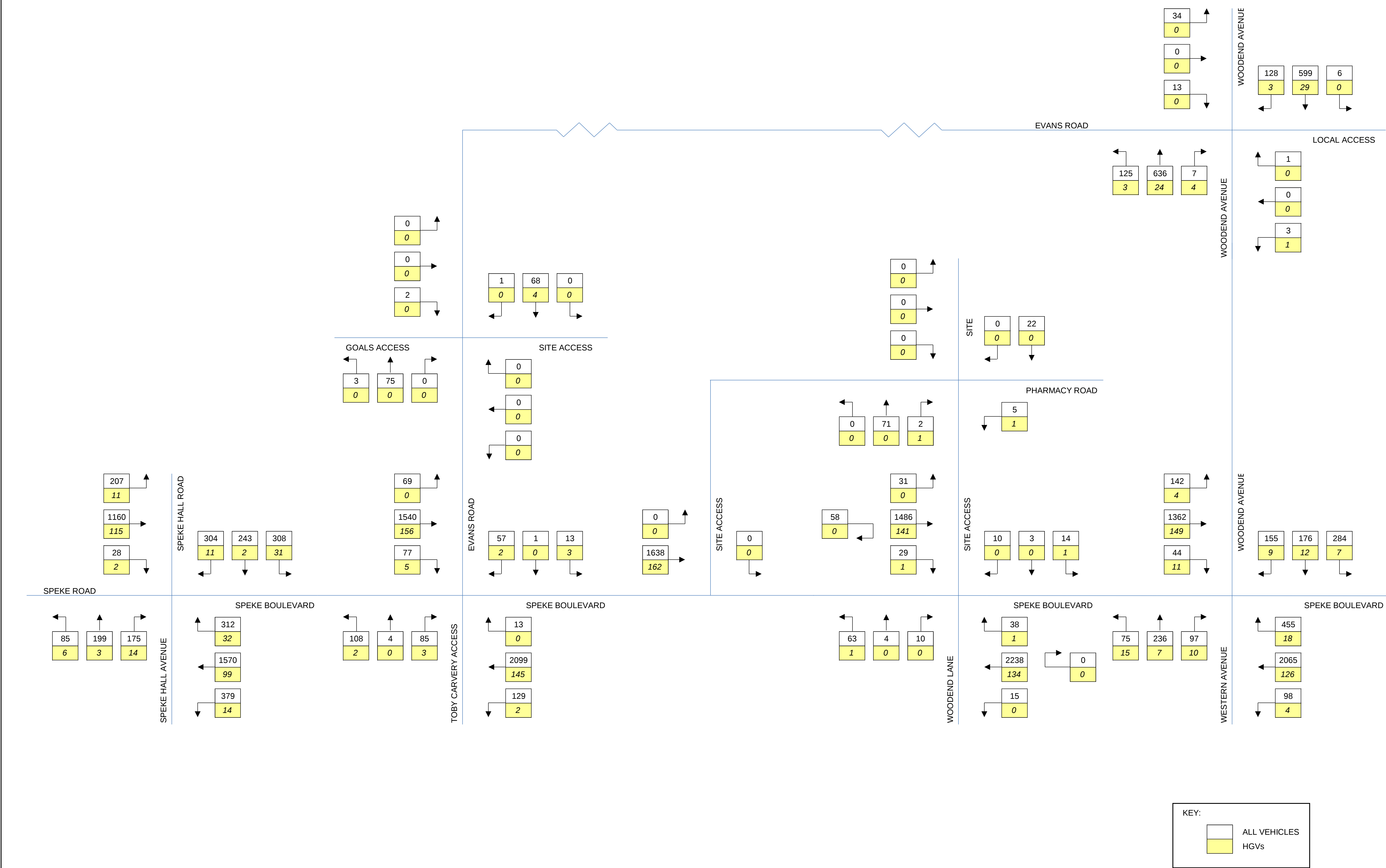


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Proposed 2016 SAT (13:15-14:15)

Figure No.	29
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



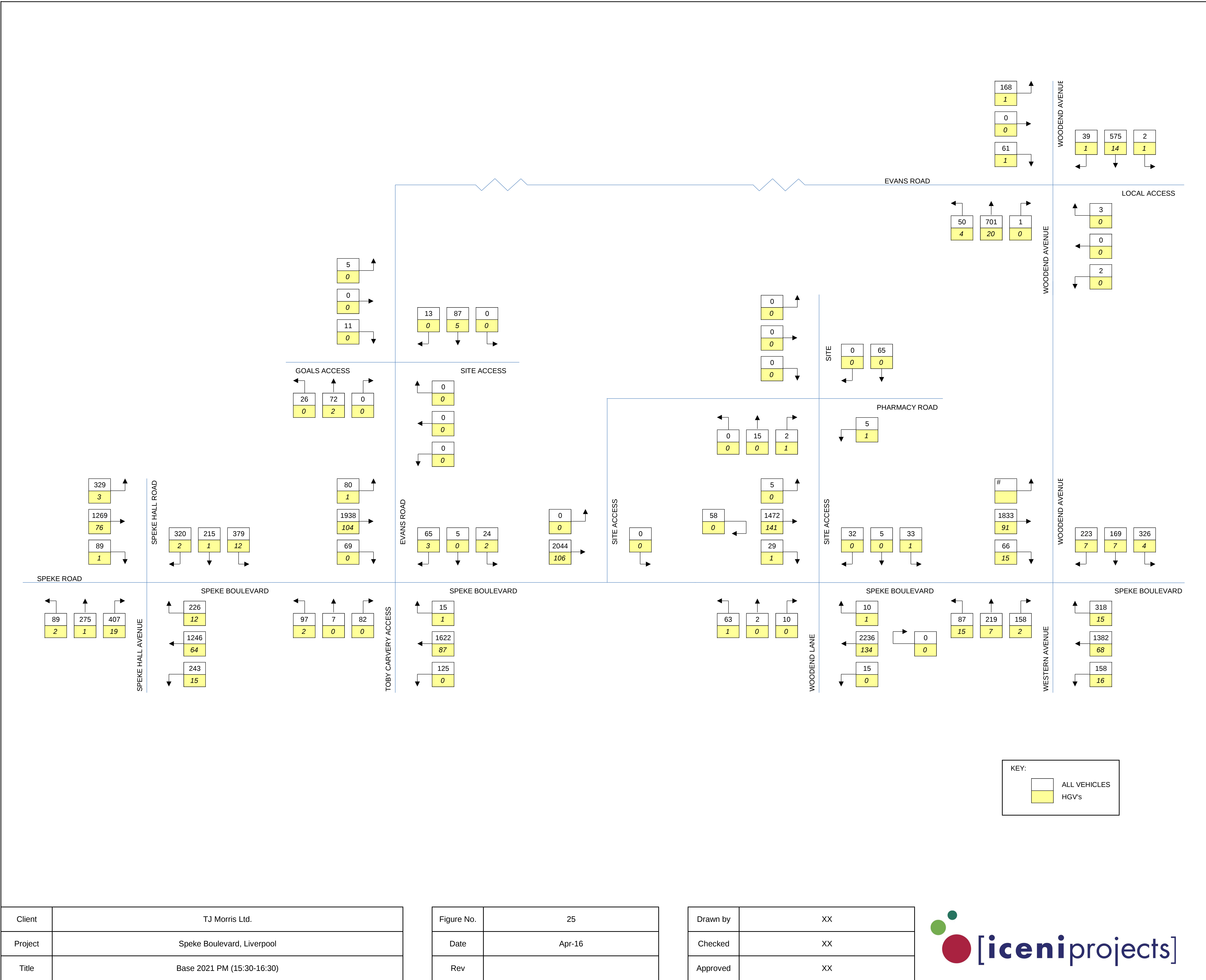


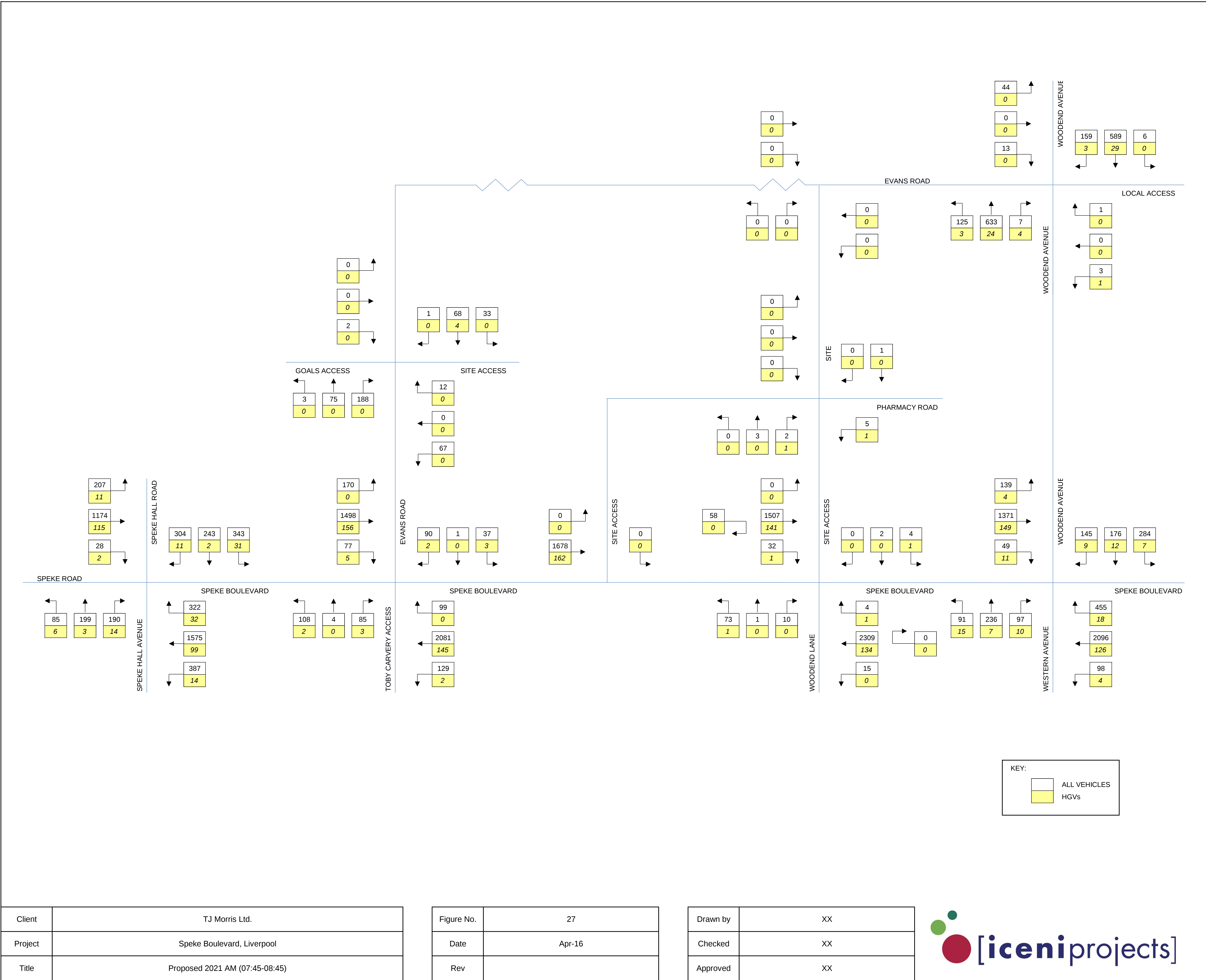
Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Base 2021 AM (07:45-08:45)

Figure No.	24
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX





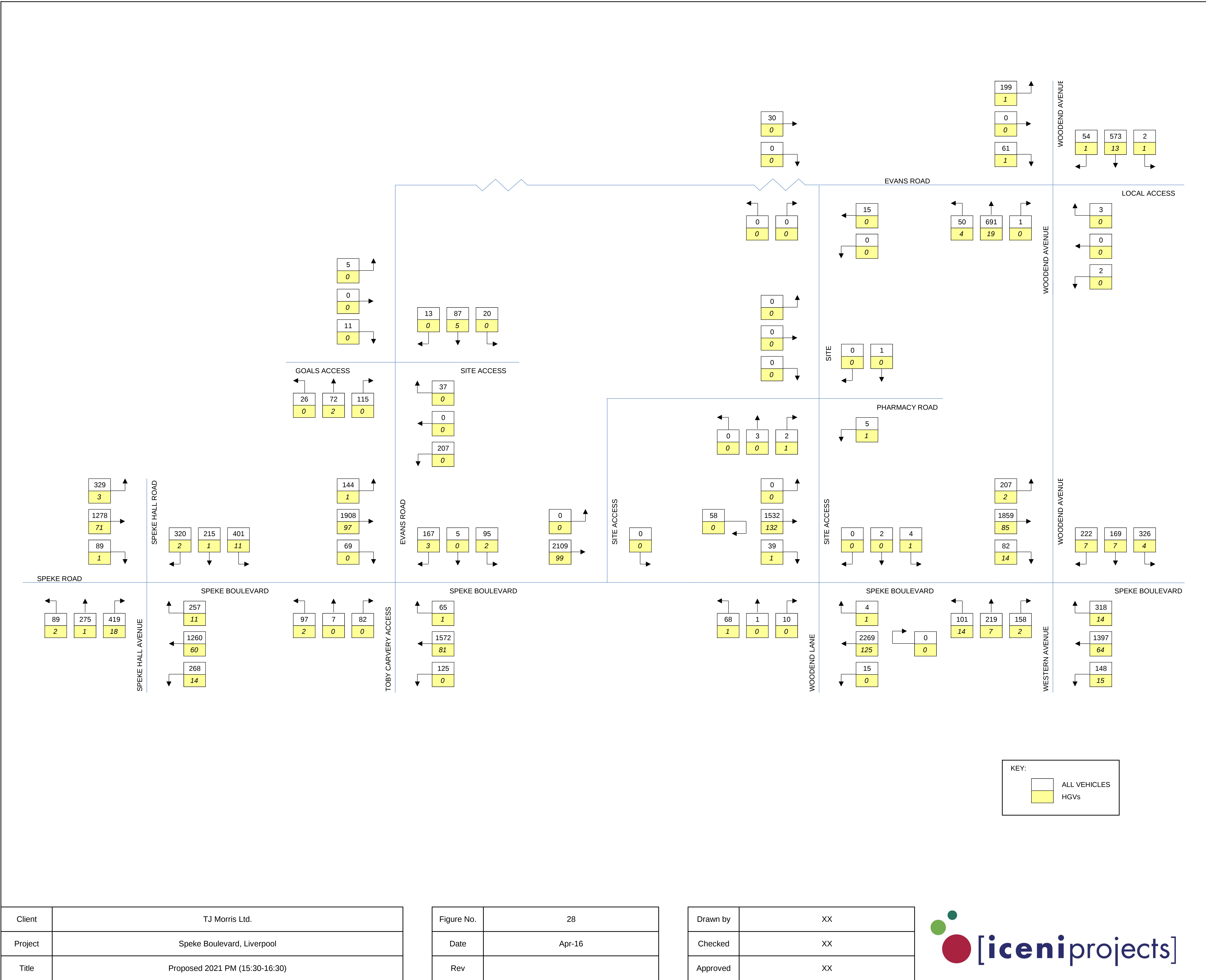


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Proposed 2021 AM (07:45-08:45)

Figure No.	27
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



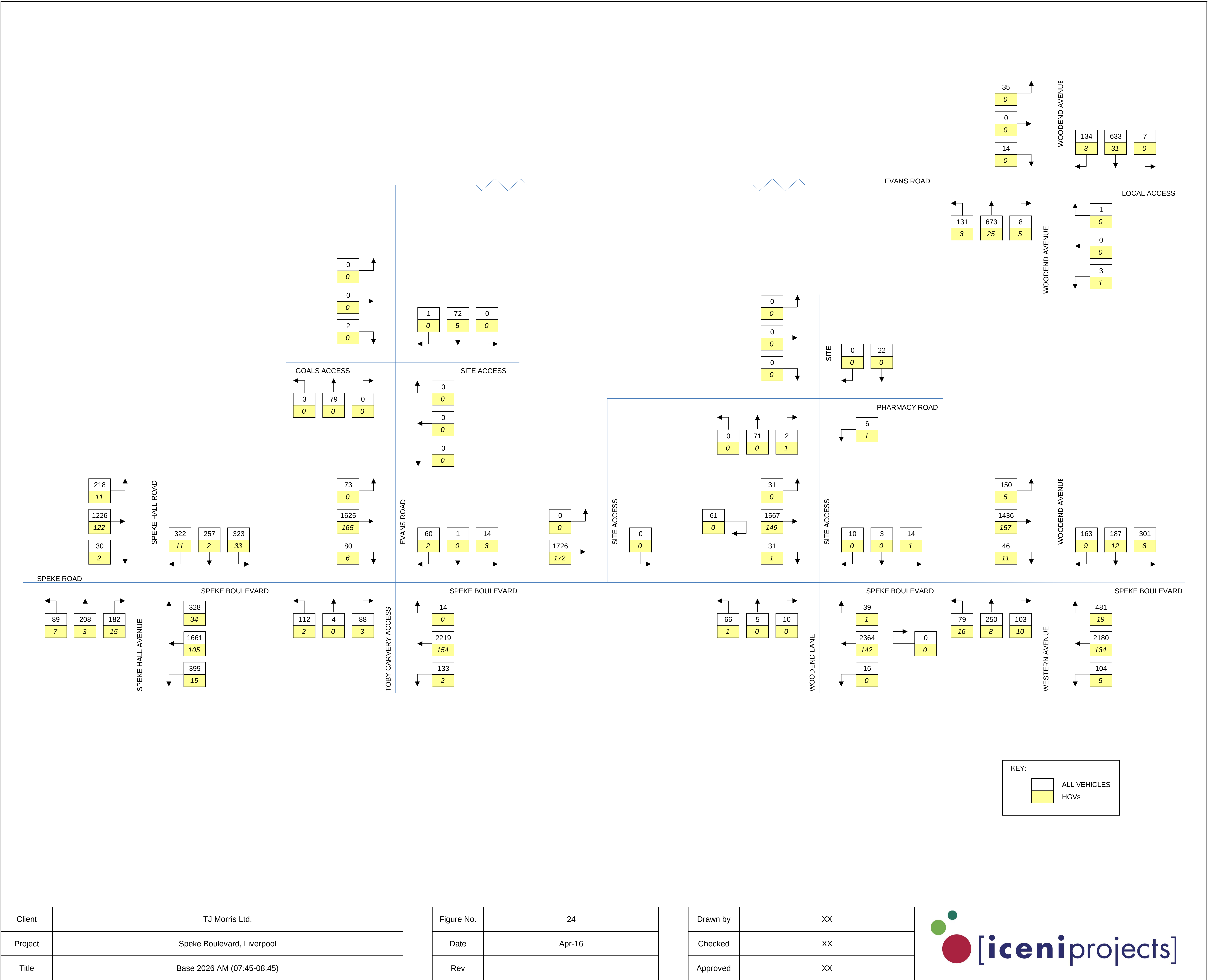


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Proposed 2021 PM (15:30-16:30)

Figure No.	28
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



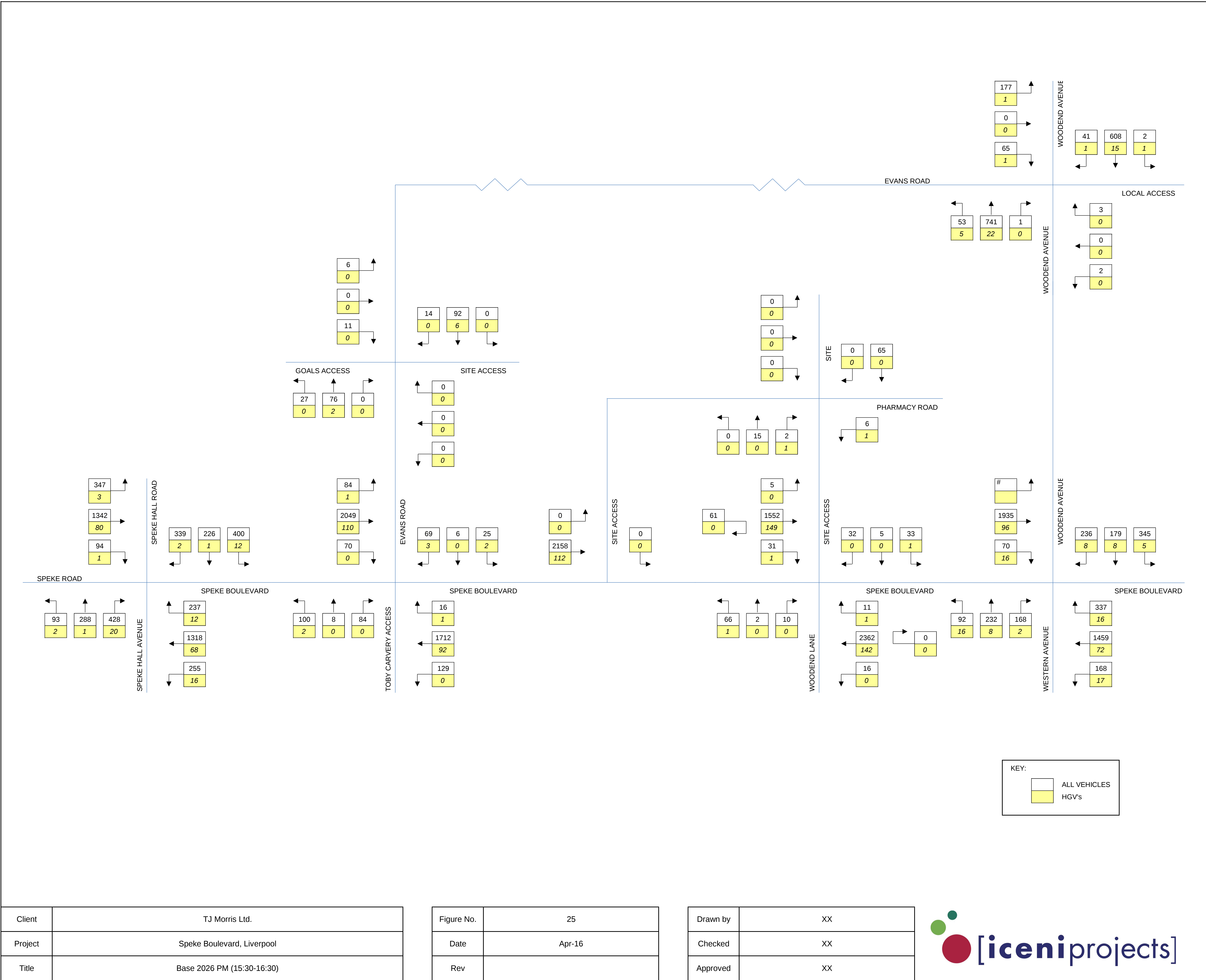


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Base 2026 AM (07:45-08:45)

Figure No.	24
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX



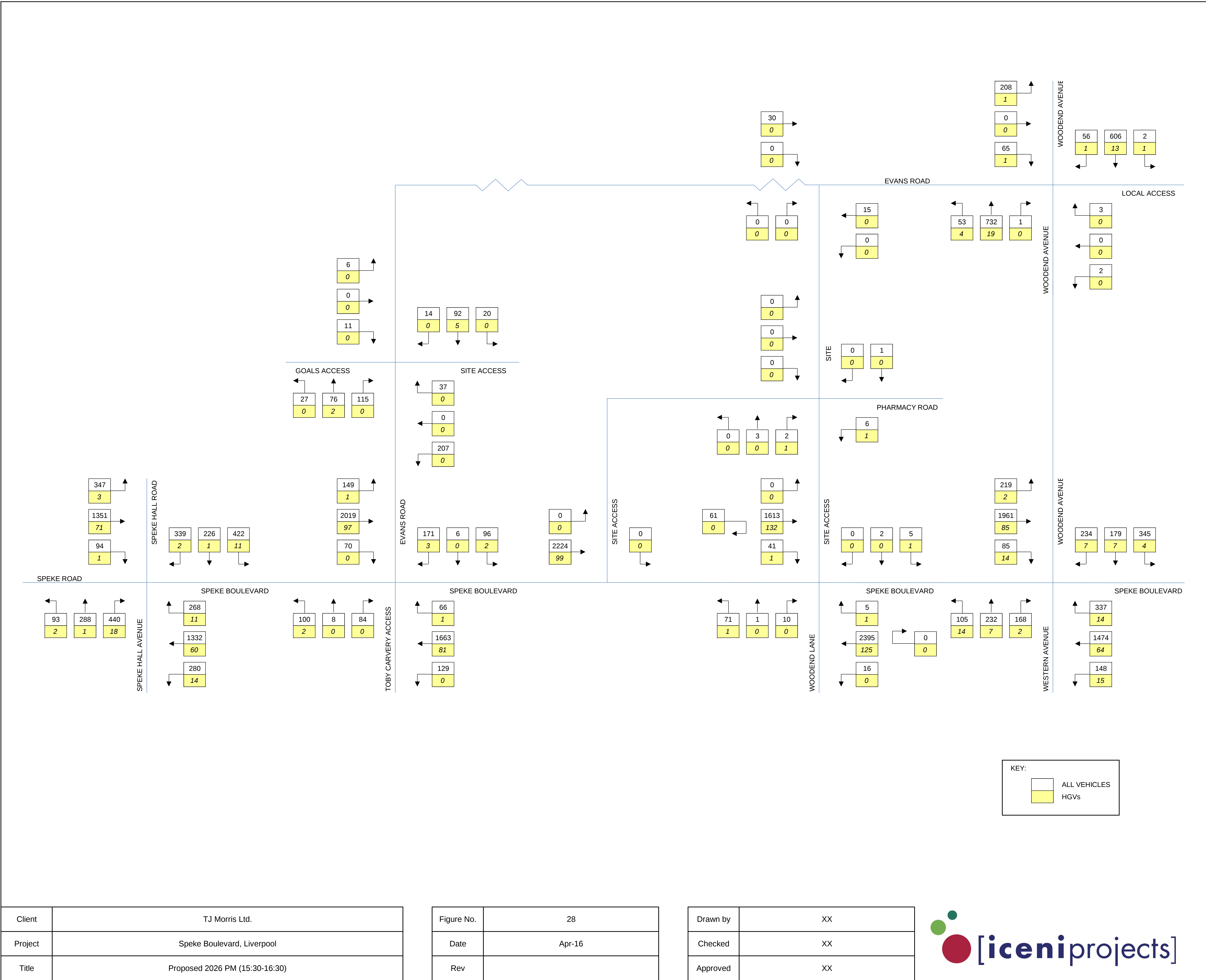


Client	TJ Morris Ltd.
Project	Speke Boulevard, Liverpool
Title	Base 2026 PM (15:30-16:30)

Figure No.	25
Date	Apr-16
Rev	

Drawn by	XX
Checked	XX
Approved	XX





A9. TRICS OUTPUT

TRICS 7.2.4

Trip Rate P Gross floor area

RANK ORDER for Land Use 01 - RETAIL/G - OTHER INDIVIDUAL NON-FOOD SUPERSTORE

Ranking Type: TOTALS Time Range: 08:00-09:00

85th/15th Percentile Survey Not Highlighted

Rank	Site Ref	Description	Town/City	GFA	Day	Date	Arrivals	Departures	Totals
1	WM-01-G-01	STAPLES	BIRMINGHAM	1880	Friday	17/11/2000	1.649	0.319	1.968
2	CB-01-G-02	STAPLES	CARLISLE	2500	Friday	05/02/2010	0.840	0.640	1.480
3	WM-01-G-04	COMET	SOLIHULL	2100	Friday	12/10/2001	0.333	0.095	0.428
4	WM-01-G-02	PC WORLD	SOLIHULL	2800	Friday	14/09/2001	0.286	0.071	0.357
5	NY-01-G-03	DUNELM MILL	YORK	3500	Wednesday	16/09/2009	0.257	0.057	0.314
6	WM-01-G-03	DFS	BIRMINGHAM	3600	Friday	26/10/2001	0.250	0.056	0.306
7	SY-01-G-01	DUNELM MILL	BARNSELY	3127	Monday	21/06/2010	0.192	0.032	0.224
8	NF-01-G-01	TOYS R US	NORWICH	3835	Friday	27/09/2002	0.130	0.000	0.130
							0.492	0.159	0.651

TRICS 7.2.4

Trip Rate P Gross floor area

RANK ORDER for Land Use 01 - RETAIL/G - OTHER INDIVIDUAL NON-FOOD SUPERSTORE

Ranking Type: TOTALS Time Range: 17:00-18:00

85th/15th Percentile Survey Not Highlighted

Rank	Site Ref	Description	Town/City	GFA	Day	Date	Arrivals	Departures	Totals
1	WM-01-G-04	COMET	SOLIHULL	2100	Friday	12/10/2001	1.333	1.857	3.19
2	WM-01-G-01	STAPLES	BIRMINGHAM	1880	Friday	17/11/2000	1.489	1.649	3.138
3	KC-01-G-01	PREMUS HOMEMAKER	HERNE BAY	1248	Friday	21/06/2002	1.442	1.683	3.125
4	KC-01-G-02	D&A TOYS	CANTERBURY	1500	Friday	06/12/2002	1.067	1.733	2.8
5	WM-01-G-02	PC WORLD	SOLIHULL	2800	Friday	14/09/2001	1.107	1.571	2.678
6	SY-01-G-01	DUNELM MILL	BARNLEY	3127	Monday	21/06/2010	1.311	1.343	2.654
7	NY-01-G-03	DUNELM MILL	YORK	3500	Wednesday	16/09/2009	1.314	1.171	2.485
8	CB-01-G-02	STAPLES	CARLISLE	2500	Friday	05/02/2010	0.92	1.04	1.96
9	WM-01-G-03	DFS	BIRMINGHAM	3600	Friday	26/10/2001	0.667	0.833	1.5
10	NF-01-G-01	TOYS R US	NORWICH	3835	Friday	27/09/2002	0.808	0.652	1.46
							1.146	1.353	2.499

TRICS 7.2.4

Trip Rate P Gross floor area

RANK ORDER for Land Use 01 - RETAIL/G - OTHER INDIVIDUAL NON-FOOD SUPERSTORE

Ranking Type: TOTALS Time Range: 14:00-15:00

85th/15th Percentile Survey Not Highlighted

Rank	Site Ref	Description	Town/City	GFA	Day	Date	Arrivals	Departures	Totals
1	KC-01-G-03	TOY SUPERSTORE	CANTERBURY	1500	Saturday	07/12/2002	7.400	7.600	15.000
2	KC-01-G-02	D&A TOYS	CANTERBURY	1500	Sunday	08/12/2002	6.600	6.867	13.467
3	KC-01-G-01	PREMUS HOMEMAKER	HERNE BAY	1248	Sunday	23/06/2002	4.888	6.330	11.218
4	WM-01-G-04	COMET	SOLIHULL	2100	Sunday	14/10/2001	5.476	5.238	10.714
5	GM-01-G-04	DECATHLON	STOCKPORT	5000	Saturday	21/11/2009	5.340	4.700	10.040
6	WM-01-G-02	PC WORLD	SOLIHULL	2800	Sunday	16/09/2001	4.821	4.607	9.428
7	NY-01-G-02	CURRY'S	YORK	3030	Saturday	19/09/2009	3.432	3.597	7.029
8	WM-01-G-01	STAPLES	BIRMINGHAM	1880	Saturday	18/11/2000	3.670	3.245	6.915
9	CS-01-G-02	SMYTHS TOYS	SLIGO	3416	Saturday	26/10/2013	3.279	2.957	6.236
10	EX-01-G-01	MFI	COLCHESTER	1000	Saturday	19/07/2008	2.700	2.700	5.400
11	WO-01-G-01	PC WORLD	WORCESTER	2000	Saturday	20/06/2009	2.800	2.500	5.300
12	GM-01-G-03	PC WORLD	MANCHESTER	4325	Saturday	12/06/2004	1.711	1.988	3.699
13	NF-01-G-01	TOYS R US	NORWICH	3835	Sunday	29/09/2002	1.617	1.617	3.234
14	WM-01-G-03	DFS	BIRMINGHAM	3600	Sunday	28/10/2001	1.472	1.278	2.750
15	CS-01-G-01	ARGOS EXTRA	SLIGO	3000	Saturday	25/09/2010	1.367	1.267	2.634
16	NY-01-G-01	ALLIED CARPETS	YORK	2300	Saturday	21/05/2005	0.870	0.913	1.783
17	CR-01-G-01	PET STORE	CORK	3500	Saturday	27/06/2009	0.543	0.314	0.857
							3.411	3.395	6.806

Calculation Reference: AUDIT-751001-160405-0411

TRIP RATE CALCULATION SELECTION PARAMETERS:

Land Use : 06 - HOTEL, FOOD & DRINK

Category : B - RESTAURANTS

VEHICLES

Selected regions and areas:

06	WEST MIDLANDS	
	ST STAFFORDSHIRE	1 days
08	NORTH WEST	
	CH CHESHIRE	1 days
09	NORTH	
	DH DURHAM	1 days
11	SCOTLAND	
	EA EAST AYRSHIRE	1 days
	RF RENFREWSHIRE	1 days
15	GREATER DUBLIN	
	DL DUBLIN	1 days
17	ULSTER (NORTHERN IRELAND)	
	AN ANTRIM	2 days

Filtering Stage 2 selection:

Parameter: Gross floor area
 Actual Range: 175 to 500 (units: sqm)
 Range Selected by User: 130 to 500 (units: sqm)

Public Transport Provision:

Selection by: Include all surveys

Date Range: 01/01/08 to 25/09/15

Selected survey days:

Tuesday	1 days
Wednesday	1 days
Thursday	2 days
Friday	4 days

Selected survey types:

Manual count	8 days
Directional ATC Count	0 days

Selected Locations:

Edge of Town Centre	3
Suburban Area (PPS6 Out of Centre)	2
Edge of Town	2
Neighbourhood Centre (PPS6 Local Centre)	1

Selected Location Sub Categories:

Development Zone	1
Retail Zone	3
Built-Up Zone	2
High Street	1
No Sub Category	1

Filtering Stage 3 selection:

Use Class:

A3 8 days

Filtering Stage 3 selection (Cont.):

Population within 1 mile:

1,001 to 5,000	2 days
5,001 to 10,000	1 days
10,001 to 15,000	1 days
20,001 to 25,000	2 days
25,001 to 50,000	1 days
50,001 to 100,000	1 days

Population within 5 miles:

25,001 to 50,000	1 days
50,001 to 75,000	1 days
75,001 to 100,000	2 days
100,001 to 125,000	1 days
125,001 to 250,000	1 days
250,001 to 500,000	1 days
500,001 or More	1 days

Car ownership within 5 miles:

0.5 or Less	1 days
0.6 to 1.0	2 days
1.1 to 1.5	5 days

Travel Plan:

No	8 days
----	--------

LIST OF SITES relevant to selection parameters

1	AN-06-B-02 HILSBOROUGH ROAD	FRANKIE & BENNY'S	ANTRIM
	LISBURN Edge of Town Retail Zone Total Gross floor area: Survey date: FRIDAY	275 sqm 19/06/15	Survey Type: MANUAL
2	AN-06-B-03 LISBURN ROAD	MODERN CUISINE	ANTRIM
	BELFAST Suburban Area (PPS6 Out of Centre) High Street Total Gross floor area: Survey date: FRIDAY	320 sqm 25/09/15	Survey Type: MANUAL
3	CH-06-B-01 SOUTERS LANE	BBQ RESTAURANT	CHESHIRE
	CHESTER Edge of Town Centre Built-Up Zone Total Gross floor area: Survey date: TUESDAY	500 sqm 11/11/14	Survey Type: MANUAL
4	DH-06-B-01 FREEMANS PLACE MILLENIUM PLACE DURHAM	CHIQUITO	DURHAM
	Edge of Town Centre Development Zone Total Gross floor area: Survey date: THURSDAY	500 sqm 04/12/08	Survey Type: MANUAL
5	DL-06-B-01 TALBOT STREET	DOMINIUM	DUBLIN
	DUBLIN Edge of Town Centre Built-Up Zone Total Gross floor area: Survey date: WEDNESDAY	330 sqm 09/12/09	Survey Type: MANUAL
6	EA-06-B-01 LOW GLENCAIRN STREET	PIZZA HUT	EAST AYRSHIRE
	KILMARNOCK Suburban Area (PPS6 Out of Centre) Retail Zone Total Gross floor area: Survey date: FRIDAY	350 sqm 20/06/08	Survey Type: MANUAL
7	RF-06-B-01 LINWOOD ROAD PHOENIX LEISURE PARK PAISLEY	INDIAN RESTAURANT	RENFREWSHIRE
	Neighbourhood Centre (PPS6 Local Centre) No Sub Category Total Gross floor area: Survey date: FRIDAY	175 sqm 20/06/14	Survey Type: MANUAL
8	ST-06-B-01 STONE ROAD TRENTHAM STOKE-ON-TRENT	RESTAURANT	STAFFORDSHIRE
	Edge of Town Retail Zone Total Gross floor area: Survey date: THURSDAY	259 sqm 24/10/13	Survey Type: MANUAL

Iceni Projects 114-116 Charing Cross Road London

Licence No: 751001

TRIP RATE for Land Use 06 - HOTEL, FOOD & DRINK/B - RESTAURANTS
VEHICLES

Calculation factor: 100 sqm

BOLD print indicates peak (busiest) period

Time Range	ARRIVALS			DEPARTURES			TOTALS		
	No. Days	Ave. GFA	Trip Rate	No. Days	Ave. GFA	Trip Rate	No. Days	Ave. GFA	Trip Rate
00:00 - 01:00									
01:00 - 02:00									
02:00 - 03:00									
03:00 - 04:00									
04:00 - 05:00									
05:00 - 06:00									
06:00 - 07:00									
07:00 - 08:00									
08:00 - 09:00									
09:00 - 10:00									
10:00 - 11:00	6	315	1.747	6	315	0.847	6	315	2.594
11:00 - 12:00	7	316	1.992	7	316	1.449	7	316	3.441
12:00 - 13:00	8	339	4.134	8	339	1.550	8	339	5.684
13:00 - 14:00	8	339	4.725	8	339	4.097	8	339	8.822
14:00 - 15:00	8	339	3.396	8	339	4.504	8	339	7.900
15:00 - 16:00	8	339	2.916	8	339	3.802	8	339	6.718
16:00 - 17:00	8	339	2.695	8	339	2.879	8	339	5.574
17:00 - 18:00	8	339	4.540	8	339	2.953	8	339	7.493
18:00 - 19:00	8	339	6.054	8	339	4.688	8	339	10.742
19:00 - 20:00	8	339	6.091	8	339	6.238	8	339	12.329
20:00 - 21:00	8	339	4.799	8	339	6.128	8	339	10.927
21:00 - 22:00	8	339	3.322	8	339	4.171	8	339	7.493
22:00 - 23:00	8	339	1.661	8	339	3.544	8	339	5.205
23:00 - 24:00	8	339	0.221	8	339	1.698	8	339	1.919
Total Rates:			48.293			48.548			96.841

Parameter summary

Trip rate parameter range selected: 175 - 500 (units: sqm)
 Survey date range: 01/01/08 - 25/09/15
 Number of weekdays (Monday-Friday): 8
 Number of Saturdays: 0
 Number of Sundays: 0
 Surveys manually removed from selection: 0

Calculation Reference: AUDIT-751001-160406-0457

TRIP RATE CALCULATION SELECTION PARAMETERS:

Land Use : 06 - HOTEL, FOOD & DRINK

Category : B - RESTAURANTS

VEHICLES

Selected regions and areas:

02	SOUTH EAST	
	WS WEST SUSSEX	1 days
05	EAST MIDLANDS	
	DS DERBYSHIRE	1 days

Filtering Stage 2 selection:

Parameter: Gross floor area
 Actual Range: 130 to 425 (units: sqm)
 Range Selected by User: 130 to 2400 (units: sqm)

Public Transport Provision:

Selection by: Include all surveys

Date Range: 01/01/08 to 19/10/15

Selected survey days:

Saturday 2 days

Selected survey types:

Manual count	2 days
Directional ATC Count	0 days

Selected Locations:

Town Centre	1
Neighbourhood Centre (PPS6 Local Centre)	1

Selected Location Sub Categories:

Built-Up Zone	1
Village	1

Filtering Stage 3 selection:

Use Class:

A3 2 days

Population within 1 mile:

1,001 to 5,000	1 days
25,001 to 50,000	1 days

Population within 5 miles:

75,001 to 100,000	1 days
125,001 to 250,000	1 days

Car ownership within 5 miles:

1.1 to 1.5 2 days

Travel Plan:

No 2 days

LIST OF SITES relevant to selection parameters

- | | | | |
|---|--|---------------------|---------------------|
| 1 | DS-06-B-01 | LITTLE FRANKIES | DERBYSHIRE |
| | CORN MARKET | | |
| | DERBY | | |
| | Town Centre | | |
| | Built-Up Zone | | |
| | Total Gross floor area: | 425 sqm | |
| | Survey date: SATURDAY | 20/06/09 | Survey Type: MANUAL |
| 2 | WS-06-B-02 | BRITISH FINE DINING | WEST SUSSEX |
| | ARUNDEL ROAD | | |
| | TANGMERE | | |
| | NEAR CHICHESTER | | |
| | Neighbourhood Centre (PPS6 Local Centre) | | |
| | Village | | |
| | Total Gross floor area: | 130 sqm | |
| | Survey date: SATURDAY | 04/10/14 | Survey Type: MANUAL |

Iceni Projects 114-116 Charing Cross Road London

Licence No: 751001

TRIP RATE for Land Use 06 - HOTEL, FOOD & DRINK/B - RESTAURANTS
VEHICLES

Calculation factor: 100 sqm

BOLD print indicates peak (busiest) period

Time Range	ARRIVALS			DEPARTURES			TOTALS		
	No. Days	Ave. GFA	Trip Rate	No. Days	Ave. GFA	Trip Rate	No. Days	Ave. GFA	Trip Rate
00:00 - 01:00									
01:00 - 02:00									
02:00 - 03:00									
03:00 - 04:00									
04:00 - 05:00									
05:00 - 06:00									
06:00 - 07:00									
07:00 - 08:00									
08:00 - 09:00									
09:00 - 10:00	1	425	0.000	1	425	0.000	1	425	0.000
10:00 - 11:00	2	278	0.360	2	278	0.360	2	278	0.720
11:00 - 12:00	2	278	0.901	2	278	0.360	2	278	1.261
12:00 - 13:00	2	278	1.622	2	278	0.721	2	278	2.343
13:00 - 14:00	2	278	2.162	2	278	2.162	2	278	4.324
14:00 - 15:00	2	278	1.982	2	278	2.883	2	278	4.865
15:00 - 16:00	2	278	0.721	2	278	1.081	2	278	1.802
16:00 - 17:00	2	278	1.081	2	278	0.721	2	278	1.802
17:00 - 18:00	2	278	1.622	2	278	0.541	2	278	2.163
18:00 - 19:00	2	278	0.901	2	278	1.802	2	278	2.703
19:00 - 20:00	2	278	3.423	2	278	2.342	2	278	5.765
20:00 - 21:00	2	278	2.162	2	278	1.441	2	278	3.603
21:00 - 22:00	2	278	1.982	2	278	2.523	2	278	4.505
22:00 - 23:00	2	278	0.721	2	278	2.162	2	278	2.883
23:00 - 24:00	2	278	0.180	2	278	0.541	2	278	0.721
Total Rates:			19.820			19.640			39.460

Parameter summary

Trip rate parameter range selected: 130 - 425 (units: sqm)
 Survey date range: 01/01/08 - 19/10/15
 Number of weekdays (Monday-Friday): 0
 Number of Saturdays: 2
 Number of Sundays: 0
 Surveys manually removed from selection: 0

TRICS 7.2.4

Trip Rate P Gross floor area

RANK ORDER for Land Use 02 - EMPLOYMENT/B - BUSINESS PARK

Ranking Type: TOTALS Time Range: 08:00-09:00

85th/15th Percentile Survey Not Highlighted

Rank	Site Ref	Description	Town/City	GFA	Day	Date	Arrivals	Departures	Totals
1	CR-02-B-01	TECHNOLOGY CENTRE	CORK	9000	Thursday	19/06/2014	2.333	0.722	3.055
2	DN-02-B-02	BUSINESS PARK	LETTERKENNY	7951	Monday	29/09/2014	2.553	0.151	2.704
3	SH-02-B-01	BUSINESS PARK	SHREWSBURY	17197	Tuesday	14/06/2005	2.058	0.57	2.628
4	NF-02-B-02	BUSINESS PARK	NORWICH	7400	Thursday	17/05/2007	2.162	0.243	2.405
5	CF-02-B-03	BUSINESS PARK	CARDIFF	9520	Monday	18/10/2010	2.132	0.189	2.321
6	CP-02-B-01	BUSINESS PARK	CAERPHILLY	14450	Tuesday	17/07/2012	1.606	0.45	2.056
7	FA-02-B-02	BUSINESS PARK	FALKIRK	16000	Friday	31/05/2013	1.819	0.219	2.038
8	EB-02-B-03	BUSINESS PARK	EDINBURGH	6675	Tuesday	01/05/2007	1.573	0.18	1.753
9	BU-02-B-01	BUSINESS PARK	HIGH WYCOMBE	13300	Thursday	08/07/2004	1.571	0.18	1.751
10	DL-02-B-02	BUSINESS PARK	DUBLIN	5985	Wednesday	12/05/2010	0.952	0.033	0.985
11	HE-02-B-01	BUSINESS PARK	NEAR HEREFORD	18808	Tuesday	13/09/2011	0.776	0.128	0.904
12	WY-02-B-02	BUSINESS PARK	HUDDERSFIELD	9200	Wednesday	23/04/2014	0.185	0.087	0.272
							1.643	0.263	1.906

TRICS 7.2.4

Trip Rate P Gross floor area

RANK ORDER for Land Use 02 - EMPLOYMENT/B - BUSINESS PARK

Ranking Type: TOTALS Time Range: 16:30-17:30

85th/15th Percentile Survey Not Highlighted

Rank	Site Ref	Description	Town/City	GFA	Day	Date	Arrivals	Departures	Totals
1	DN-02-B-02	BUSINESS PARK	LETTERKENNY	7951	Monday	29/09/2014	0.365	2.541	2.906
2	CR-02-B-01	TECHNOLOGY CENTRE	CORK	9000	Thursday	19/06/2014	0.578	1.856	2.434
3	SH-02-B-01	BUSINESS PARK	SHREWSBURY	17197	Tuesday	14/06/2005	0.570	1.611	2.181
4	CF-02-B-03	BUSINESS PARK	CARDIFF	9520	Monday	18/10/2010	0.095	1.838	1.933
5	BU-02-B-01	BUSINESS PARK	HIGH WYCOMBE	13300	Thursday	08/07/2004	0.211	1.421	1.632
6	FA-02-B-02	BUSINESS PARK	FALKIRK	16000	Friday	31/05/2013	0.194	1.306	1.500
7	CP-02-B-01	BUSINESS PARK	CAERPHILLY	14450	Tuesday	17/07/2012	0.304	1.156	1.460
8	NF-02-B-02	BUSINESS PARK	NORWICH	7400	Thursday	17/05/2007	0.243	1.203	1.446
9	EB-02-B-03	BUSINESS PARK	EDINBURGH	6675	Tuesday	01/05/2007	0.255	1.079	1.334
10	DL-02-B-02	BUSINESS PARK	DUBLIN	5985	Wednesday	12/05/2010	0.067	0.902	0.969
11	HE-02-B-01	BUSINESS PARK	NEAR HEREFORD	18808	Tuesday	13/09/2011	0.106	0.601	0.707
12	WY-02-B-02	BUSINESS PARK	HUDDERSFIELD	9200	Wednesday	23/04/2014	0.087	0.304	0.391
							0.256	1.318	1.574

TRICS 7.2.4

Trip Rate P Gross floor area

RANK ORDER for Land Use 02 - EMPLOYMENT/B - BUSINESS PARK

Ranking Type: TOTALS Time Range: 14:00-15:00

85th/15th Percentile Survey Not Highlighted

Rank	Site Ref	Description	Town/City	GFA	Day	Date	Arrivals	Departures	Totals
1	DN-02-B-02	BUSINESS PARK	LETTERKENNY	7951	Monday	29/09/2014	0.553	0.377	0.930
2	EB-02-B-03	BUSINESS PARK	EDINBURGH	6675	Tuesday	01/05/2007	0.449	0.404	0.853
3	SH-02-B-01	BUSINESS PARK	SHREWSBURY	17197	Tuesday	14/06/2005	0.477	0.372	0.849
4	CR-02-B-01	TECHNOLOGY CENTRE	CORK	9000	Thursday	19/06/2014	0.467	0.367	0.834
5	FA-02-B-02	BUSINESS PARK	FALKIRK	16000	Friday	31/05/2013	0.362	0.463	0.825
6	NF-02-B-02	BUSINESS PARK	NORWICH	7400	Thursday	17/05/2007	0.365	0.419	0.784
7	CP-02-B-01	BUSINESS PARK	CAERPHILLY	14450	Tuesday	17/07/2012	0.381	0.360	0.741
8	BU-02-B-01	BUSINESS PARK	HIGH WYCOMBE	13300	Thursday	08/07/2004	0.338	0.263	0.601
9	CF-02-B-03	BUSINESS PARK	CARDIFF	9520	Monday	18/10/2010	0.242	0.347	0.589
10	DL-02-B-02	BUSINESS PARK	DUBLIN	5985	Wednesday	12/05/2010	0.301	0.134	0.435
11	HE-02-B-01	BUSINESS PARK	NEAR HEREFORD	18808	Tuesday	13/09/2011	0.149	0.165	0.314
12	WY-02-B-02	BUSINESS PARK	HUDDERSFIELD	9200	Wednesday	23/04/2014	0.120	0.065	0.185
							0.350	0.311	0.662

A10. JUNCTION CAPACITY ASSESSMENTS (SUBMITTED ON CD)