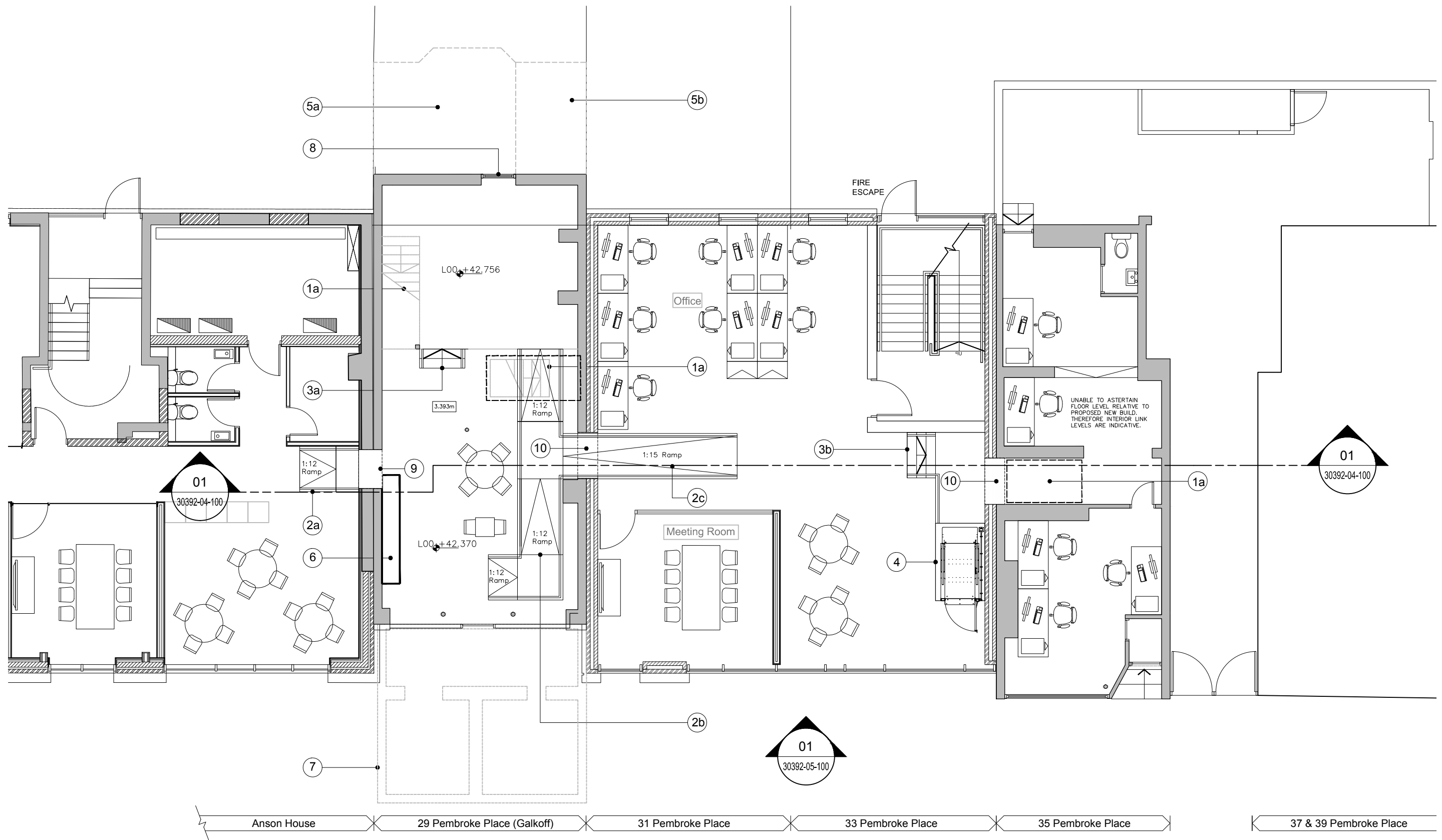


8.1 Design Option 01

Overview

Retention / Restoration of all fabric

- Retention/restoration of the whole of the existing original listed buildings No. 29 & 35, including the existing floors, external and internal walls, roof, window openings and shop front. Demolition of existing extension and outrigger to the rear of No. 29 due to poor structural condition. Rear elevation to be reconstructed with brickwork to match existing.
- Demolition of No. 31 & 33 to allow for new building extension to integrated No. 29 & 35 with the Anson House development.



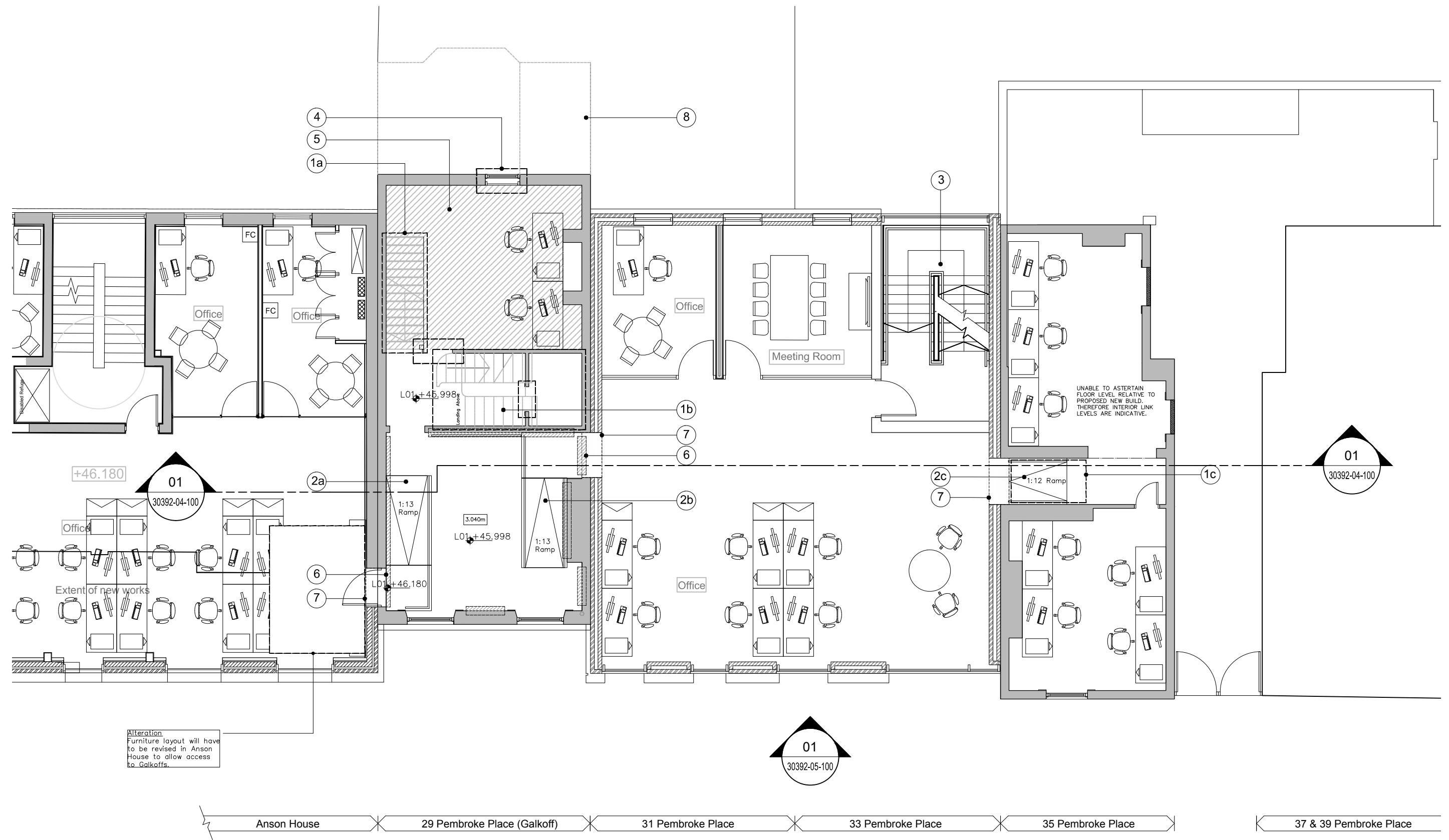
1. Existing Staircase
 - a - Removal - Not original. Non DDA compliant
2. New ramp access:
 - a - +0.080m
 - b - +0.390m
 - c - +0.306m
3. New Stair Access
 - a - +0.390m
 - b - +0.680m

4. Platform Lift
 - 5a. Existing extension to be demolished due to poor structural condition. Extension is not part of the original building fabric.
 - 5b. Original outrigger to be demolished due to poor structural condition.
6. Remove marble work top to allow access from Anson House.
7. Outline of basement below - Due to limited head room the basement floor has not been shown in this option as it is not a usable space.
8. New window to match above.

9. New opening for access - minimum width to reduce impact on listed building fabric and to reduce impact on furniture layout in Anson House. It also links with existing circulation routes.
10. New opening for access - minimum width to reduce impact on listed building fabric and to maximise internal circulation.

Option 01 Ground Floor Plan 1:100

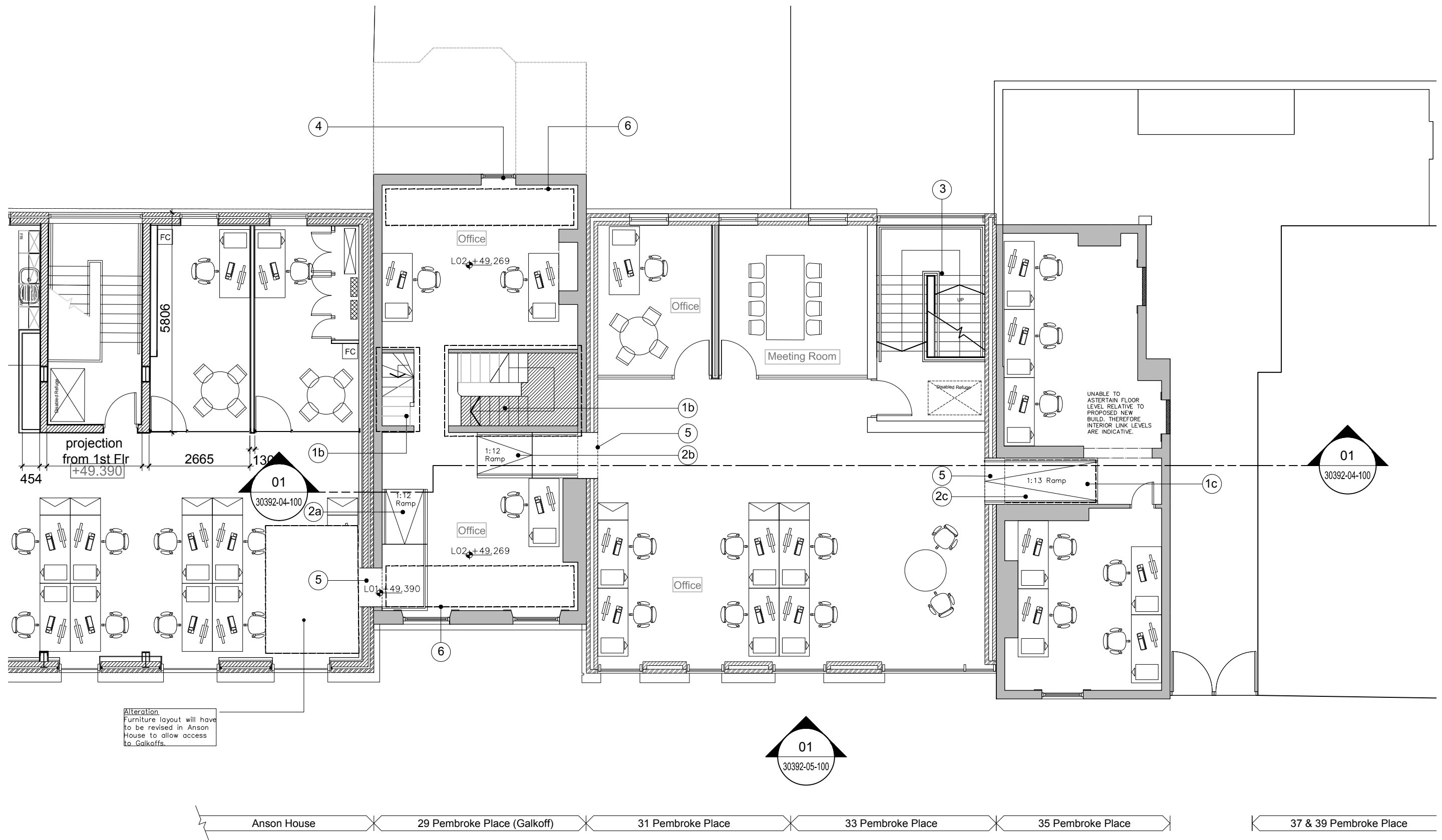
Galkoff Extension Design Options



1. Existing Stair
 - a - Removal - Non DDA compliant. New floor infill
 - b - Original stair - to be retained. Non DDA compliant therefore it will not be used.
 - c - Removal - Non DDA compliant. New access ramp.
2. New ramp access:
 - a - +0.182m
 - b - +0.182m
 - c - + 0.129mm

3. New circulation stair
4. Replace existing door with window
5. Replacement floor required.
6. Paintings of special interest to be removed to allow access
7. New opening for access - minimum width to reduce impact on listed building. Opening location enables functional internal ramp circulation between buildings without the need to ramp in two directions.
8. Original outrigger to be demolished due to poor structural condition.

Option 01 First Floor Plan 1:100

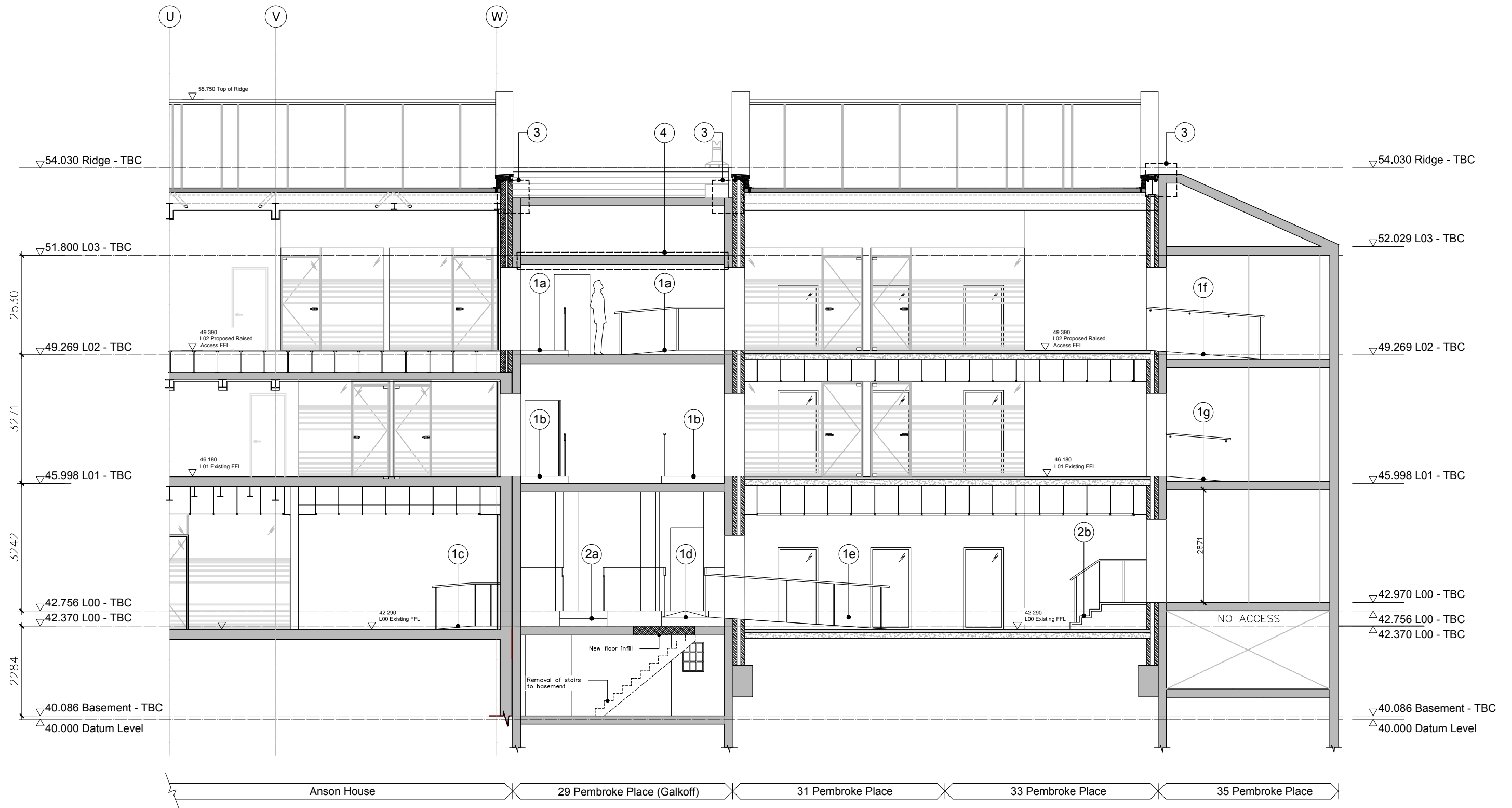


1. Existing Staircase
 - b - Original stair - to be retained. Non DDA compliant therefore it will not be used.
 - c - Removal - Non DDA compliant. New access ramp
2. New ramp access:
 - a - +0.121m
 - b - +0.121m
 - c - +0.235m

3. New circulation stair
4. Restore/replace existing window
5. New opening for access - minimum width to reduce impact on listed building fabric. Opening location enables functional internal ramp circulation between building.
6. Possibility of reduced headroom in these areas. Subject to additional building survey.

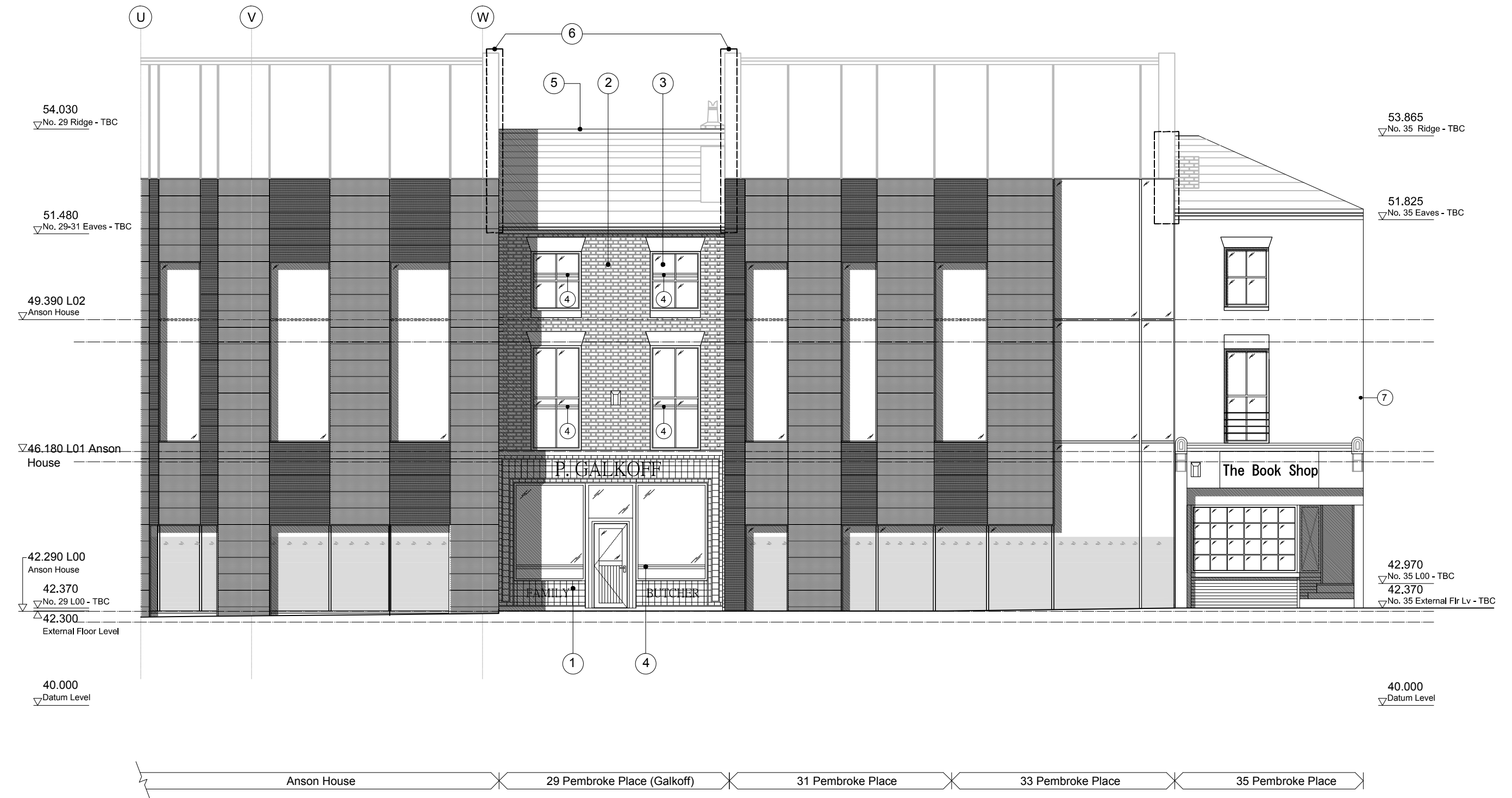
Option 01 Second Floor Plan 1:100

Galkoff Extension Design Options



Option 01 Section 1:100

Galkoff Extension Design Options



1. Tiled facade of special interest. Reinstall and restore.
2. Existing brickwork - clean and re-point mortar.
3. Existing Windows - restore
4. Balustrade required for safety due to low cill height.
5. Existing Roof - Refer to structural engineers report. Restore.
6. Roof Alteration for flashing junction.

7. No. 35 will be fully refurbished for future use and its history interpreted through further consultation with Liverpool City Council and English Heritage.

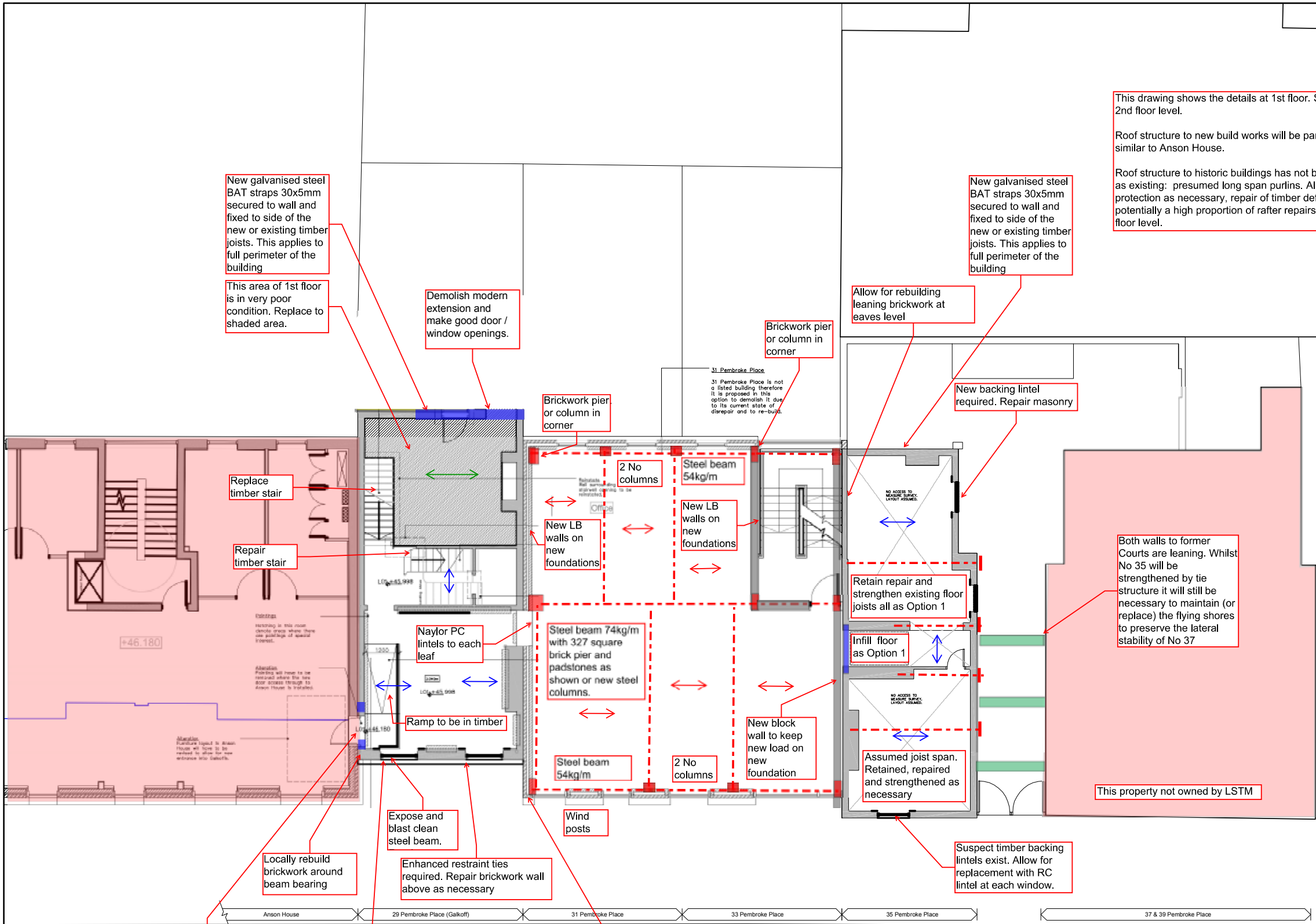
Option 01 South Elevation 1:100



This drawing shows the details at 1st floor. Similar requirements will be needed at 2nd floor level.

Roof structure to new build works will be part of the structural frame with details similar to Anson House.

Roof structure to historic buildings has not been inspected but is to be retained as existing: presumed long span purlins. Allow for stripping roof coverings, protection as necessary, repair of timber defects particularly at bearings; potentially a high proportion of rafter repairs required. Fix straps at roof level as at floor level.



Rev:	Description:	Date:	By:	Chkd:
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Status:	INFORMATION
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Project:	Galkoff Extension
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Drg Title:	Option 1 - Proposed First Floor Plan Structural works
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Scale:	1:100	Size:	A2	First Issue:		Drawn:	AM	Checked:	AC
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Drg No:	CH1012-01-02	Rev:	/
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1 Option 01 - First Floor Plan - 29-31 & 35 Pembroke Place
Scale 1:100

Report version A3 size



Option 01

Pros & Cons

Pros

- Allows for full retention and restoration of existing Galkoffs tiled shop frontage
- Maximises the reuse of the existing external building fabric where achievable.
- Original staircases at 1st / 2nd floor levels would be refurbished and retained.
- This option would prove to be the cheapest option for development.

Cons

- Due to the extremely poor condition of the building significant structural remediation and stabilisation will be required to all areas of the existing external fabric of the building to allow for safe reuse and the safety of the structure of No. 29 during demolition of No. 31 Pembroke Place. Major structural implications are listed below:

- Due to the extremely poor condition of the existing floor there will be significant structural repairs and replacement required to approximately 50% of the existing floor structures.
- Floor strengthening will be required to accommodate the change in use for the building. This will require significant alterations and adaptations of the existing floors which would question whether retention of the floors is a practical solution.
- Inclusion of timber ramps will apply additional dead load therefore the first and second floors will require strengthening.
- There is evidence of alterations to walls especially on the ground floor requiring local rebuilding and strapping.
- Evidence of movement to the front gable wall of Galkoffs will require strapping. Due to the critical interface for access openings between Anson House and Galkoffs a portalised frame is needed.
- Any basement structure in No. 31 & 33 will require infilling and venting. This will affect the design of the foundations for the new extension.
- Assessment of the structural condition for the beam at first floor over the shop front of Galkoffs and No. 35 will be required.
- Structural assessment has been carried out on the original staircase and therefore will need to be replaced.
- Following a visual inspection due to its poor structural condition the roof will likely need replacing.
- The primary structural column in the centre of the ground floor and the isolated pier located beneath in the basement will require further assessment to establish if they are capable of supporting the increased load.

- Existing painting at 1st floor will be lost due to structural works.
- Existing Marble counter would need to be removed to allow for access into the ground floor from Anson House.
- Due to the change in floor levels between Anson House and No. 29 lightweight timber ramps will need to be provided to all levels of floor. At ground floor there is a significant change in level between the front of No. 29 and the rear of approximately 390mm. To access this level change the ramp required takes up all usable floor area to the front of the ground floor. Due to the existing floor construction a platform lift cannot be accommodated in this option. The provision of ramps at 1st and 2nd floor levels also reduce the amount of usable office floor space and make this option impractical for its purpose. Due to the required location for the ramps at upper floor levels we would also lose desk spaces within Anson House as circulation routes would need to be revised to access the openings to No. 29.
- Retention of the existing building fabric means the required open plan working arrangement required by LSTM would not be achievable. The minimal openings created between Anson House and the new build to the site at No. 31 would create a barrier for the use of the building and would create a disjointed working environment. It would also begin to create a physical separation between the two blocks which would limit the buildings flexibility in the future.
- The existing original staircases at 1st & 2nd floor are to be retained but they are not DDA compliant so cannot be used following refurbishment. This further reduces the available floor space. Vertical circulation would be provided via new stair cores in Anson House and the new extension to No. 31 & 33.
- Due to the extremely poor condition of the building significant restoration work will be required to all existing building fabric:
 - Sash windows
 - Brickwork
 - Pointing
 - Roof tiling / flashings
 - Guttering

- The existing tiled shop front will need to be fully protected throughout construction and refurbishment. Risk of further damage to the area as structural works are carried out.
- At second floor level we anticipate an area of reduced headroom at eaves level which will further reduce the usable floor area for office staff. This will need to be investigated further when safe access to this level can be achieved
- With the existing floors being retained there will need to be additional acoustic provisions required within the floors to achieve current requirements. This could impact on floor to ceiling heights which are critical for office use.
- Due to the existing floor levels a first and second floor additional barrier protection will be required to all existing windows internally. Due to the levels all windows would require safety glass but this could not be accommodated in the existing frames. A balustrade would therefore need to be provided internally and upper floor levels. This would be visible externally and would further reduce the quality of the elevation
- The primary elevation of the street scene would not look right with the No. 29 retained. Whilst it retains the Galkoff tiled façade which would be repaired and enhanced, No. 29 was originally part of a terrace of like buildings fronting the street. Retained as part of this development it would become isolated within a modern new build scheme. The scale of the new building will overpower and undermine the setting of No. 29 and the change in roof levels will form an unnatural break along the street frontage. It is our option that retaining the building within the proposal will not only reduce the impact and quality of the new scheme; it will also significantly reduce the quality of No. 29.