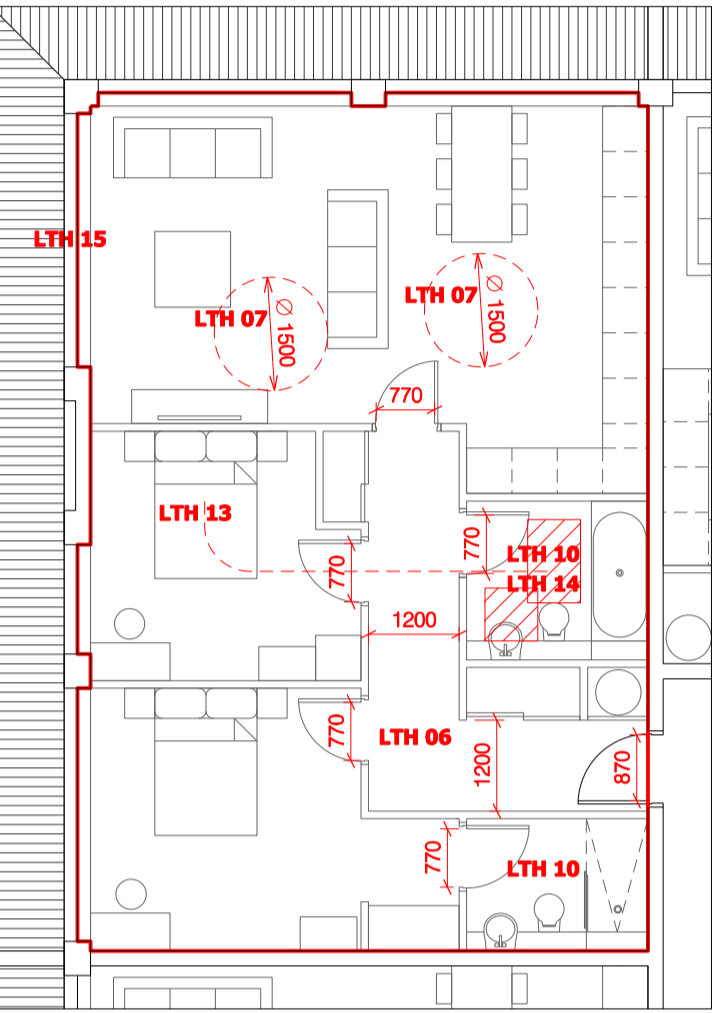
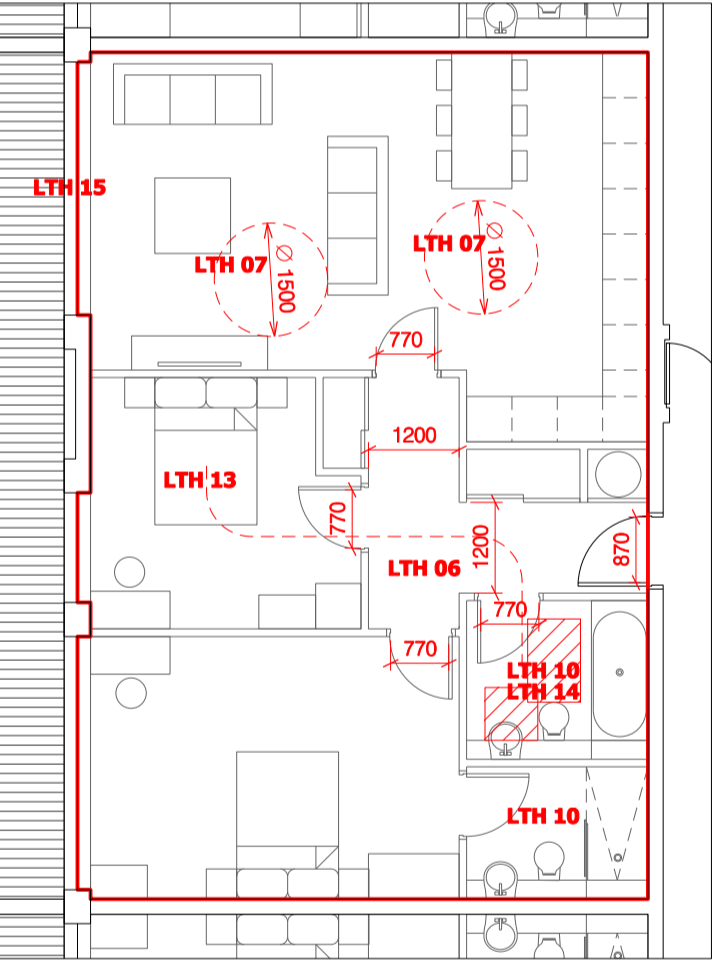


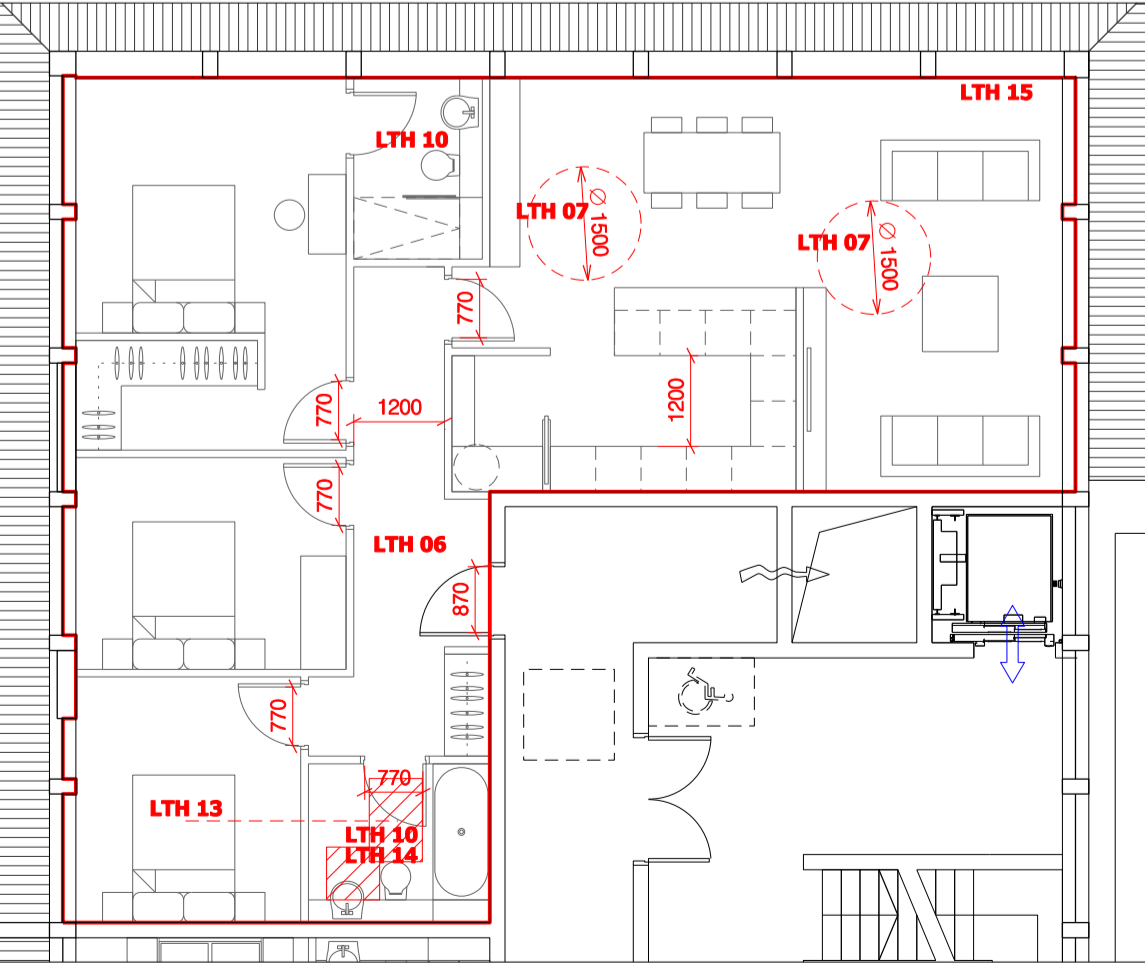
Apartment type N1 (2 bed)



Apartment type N2 (2 bed)



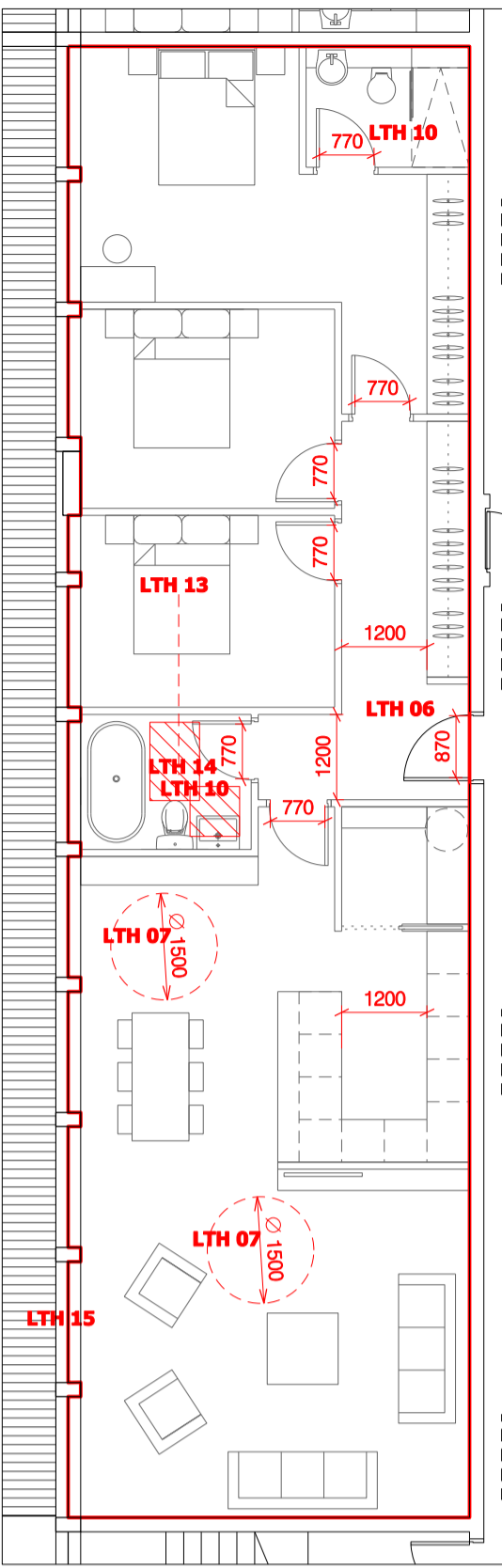
Apartment type N3 (2 bed)



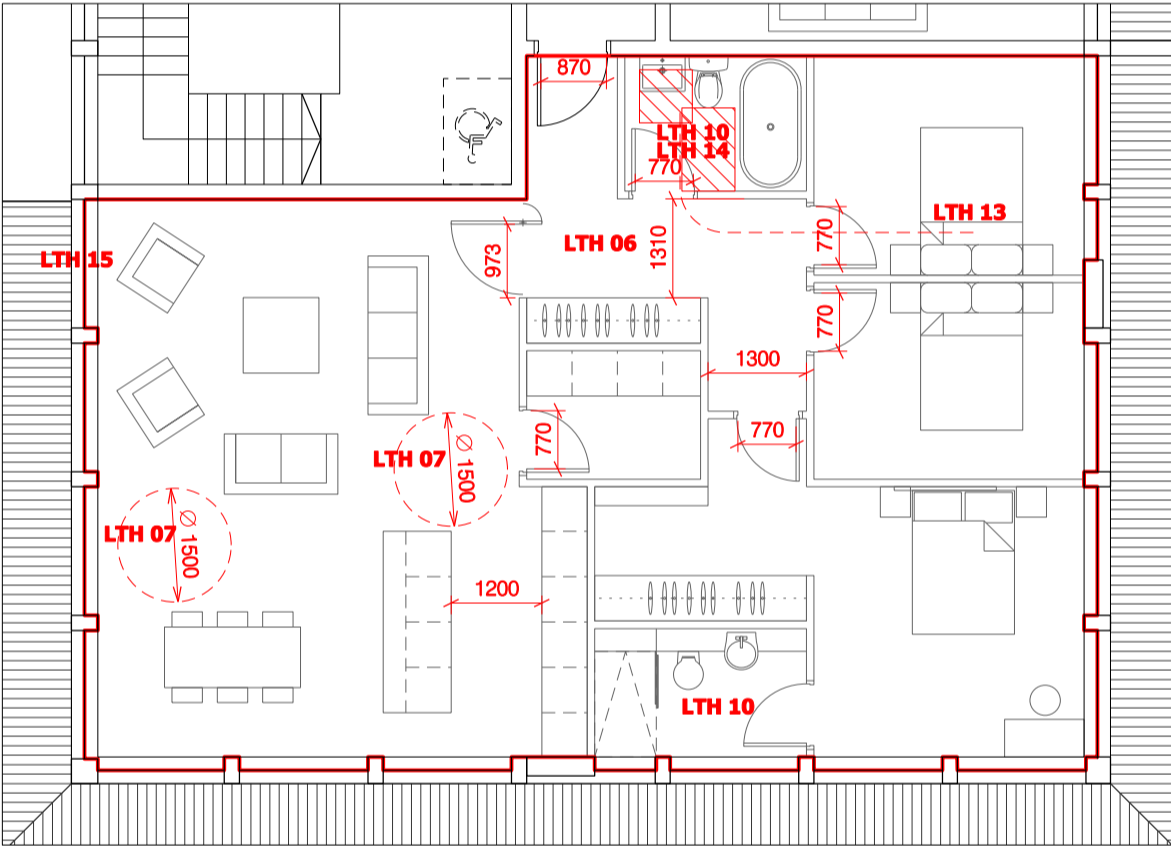
Apartment type N4 (3 bed)

#### Lifetime Homes

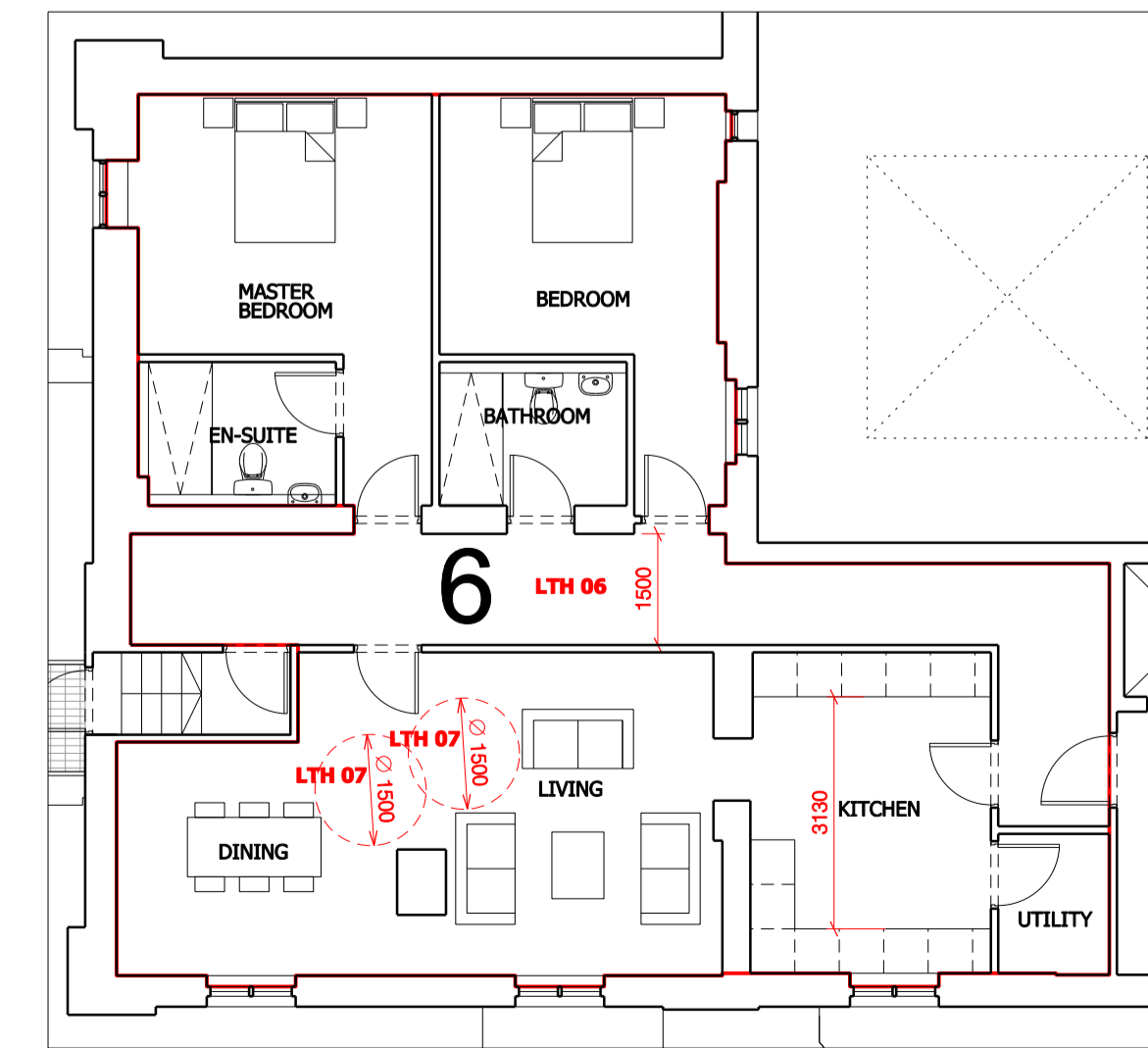
- (1) Car Parking Width **NOT APPLICABLE**  
Where there is car parking adjacent to the home, it should be capable of enlargement to attain 3300mm width.
- (2) Access From Car Parking **✓**  
The distance from the car parking space to the home should be kept to a minimum and should be level or gently sloping.
- (3) Approach Gradients **✓**  
The approach to all entrances should be level or gently sloping.
- (4) Entrances should:  
4a) be illuminated  
4b) have level access over the threshold and  
4c) main entrances should be covered.
- (5) Communal Stairs & Lifts **✓**  
5a) Communal stairs should provide easy access and  
5b) Where homes are reached by a lift, it should be fully accessible.
- (6) Doorways & Hallways **✓**  
The width of the doorways and hallways should conform to the specifications below.  
Doorway clear opening width (mm) / Corridor/passageway width (mm) minimum  
750 or wider.....900 (when approach is head-on)  
750 or wider.....1200 (when approach is not head-on)  
775 or wider.....1050 (when approach is not head-on)  
900 or wider.....900 (when approach is not head-on)  
The clear opening width of the front door should be a minimum 800mm.  
There should be a 300mm nib to the side of the leading edge of doors at entrance level.
- (7) Wheelchair Accessibility **✓**  
There should be space for turning a wheelchair in dining areas and living rooms and adequate circulation space for wheelchairs elsewhere.
- (8) Living Room **✓**  
The living room should be at entrance level.
- (9) Entrance Level Bedspace **NOT APPLICABLE**  
In houses of two or more storeys, there should be space on the entrance level that could be used as a convenient bed-space.
- (10) Entrance Level WC & Shower Drainage **✓**  
There should be:  
a) A wheelchair accessible entrance level WC, with  
b) Drainage provision enabling a shower to be fitted in the future.
- (11) Bathroom & WC Walls **✓**  
Walls in the bathroom and WC should be capable of taking adaptations such as handrails.
- (12) Stair Lift/Through-Floor Lift **NOT APPLICABLE**  
The design should incorporate:  
12a) provision of a stair lift  
12b) a suitably identified space for a through-the-floor lift from the ground to the first floor, for example to a bedroom next to a bathroom.
- (13) Tracking Host Route **✓**  
The design should provide a reasonable route for a potential host from a main bedroom to the bathroom.
- (14) Bathroom Layout **✓**  
The bathroom should be designed to incorporate ease of access to the bath, WC and wash basin.
- (15) Window Specification **✓**  
Living room window glazing should begin at 800mm or lower and windows should be easy to open/operate.
- (16) Controls, Fixtures & Fittings **✓**  
Switches, sockets, ventilation and service controls should be at a height usable by all (i.e. between 450mm and 1200mm from the floor).



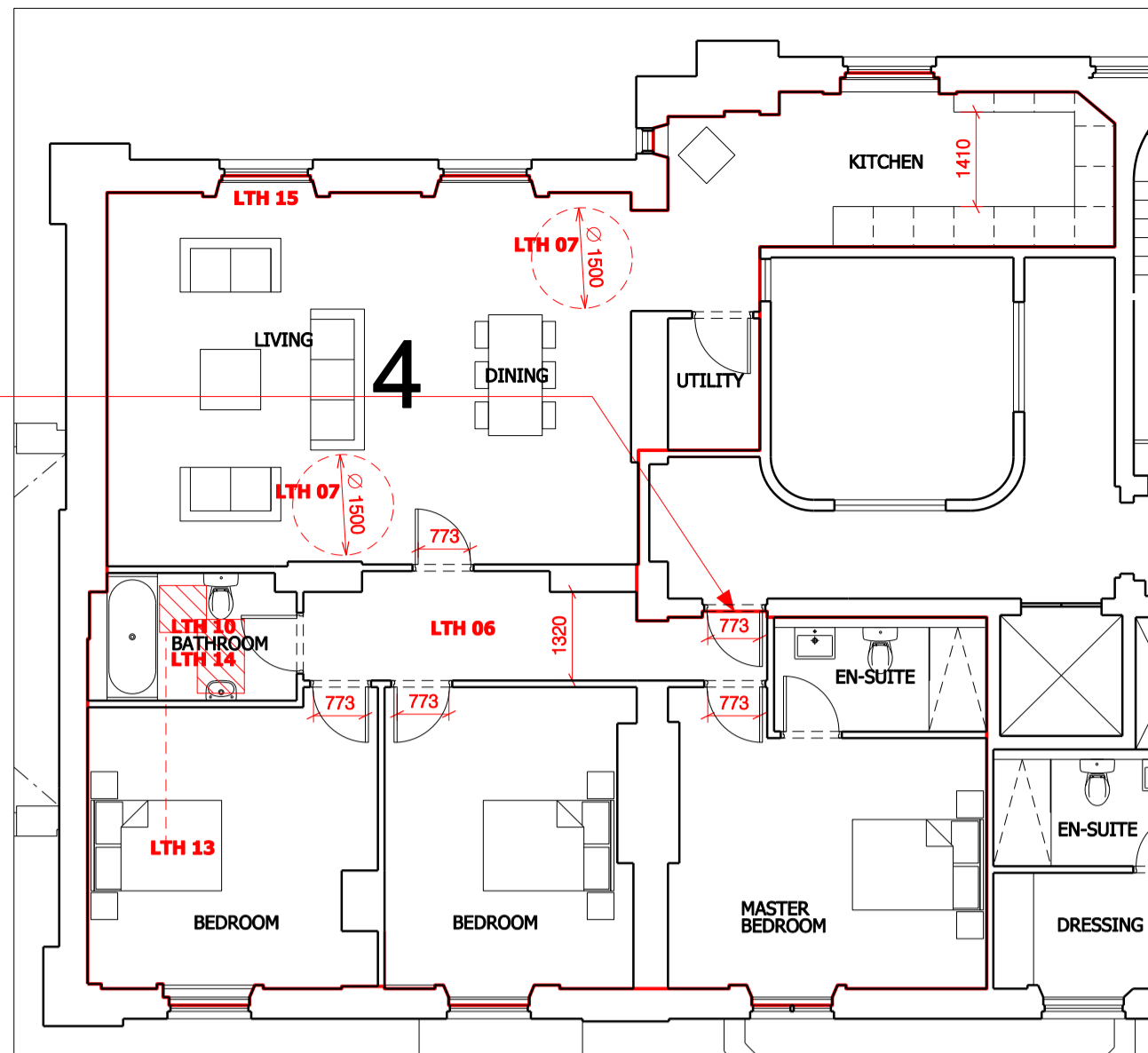
Apartment type N5 (3 bed)



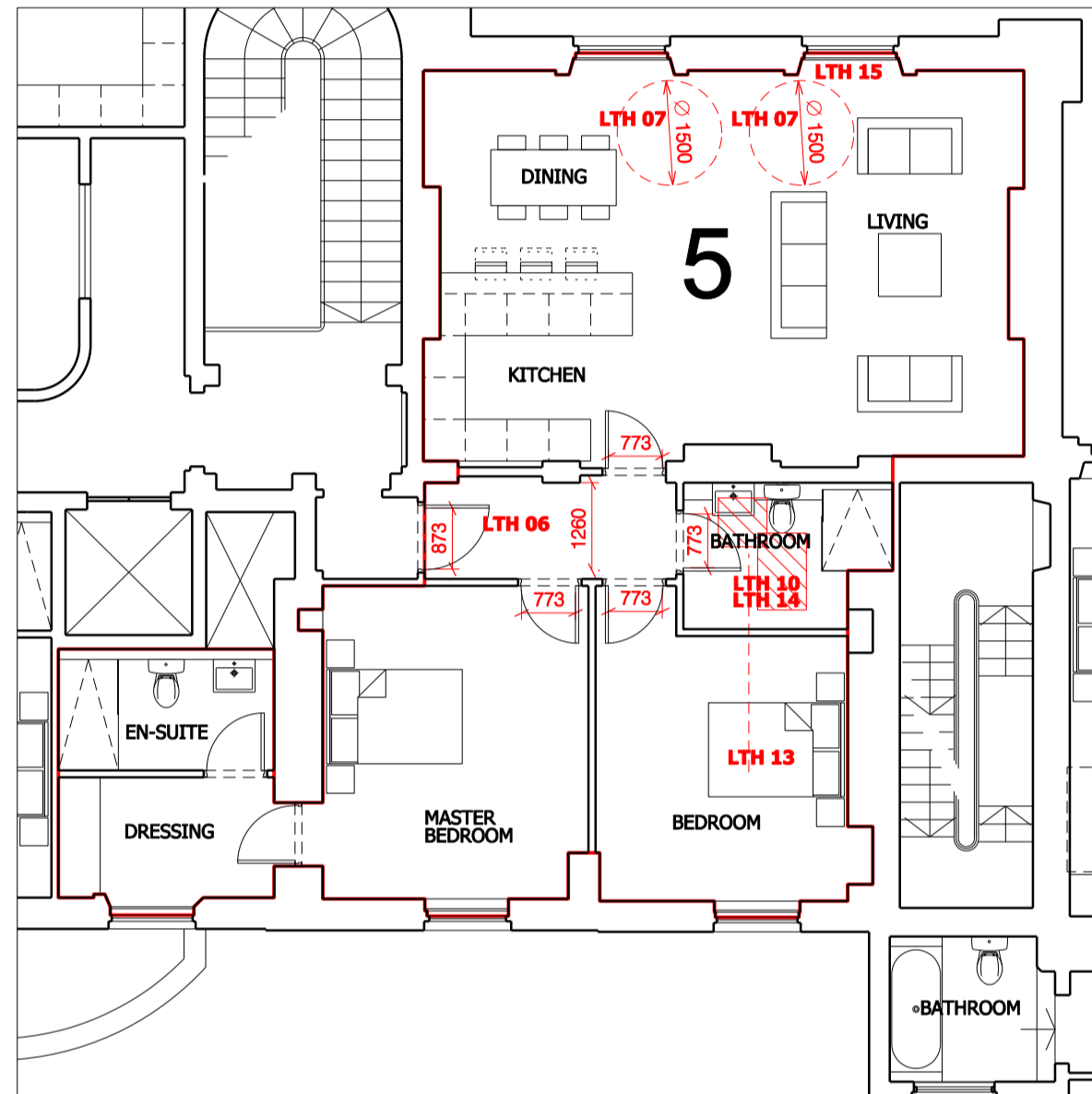
Apartment type N6 (3 bed)



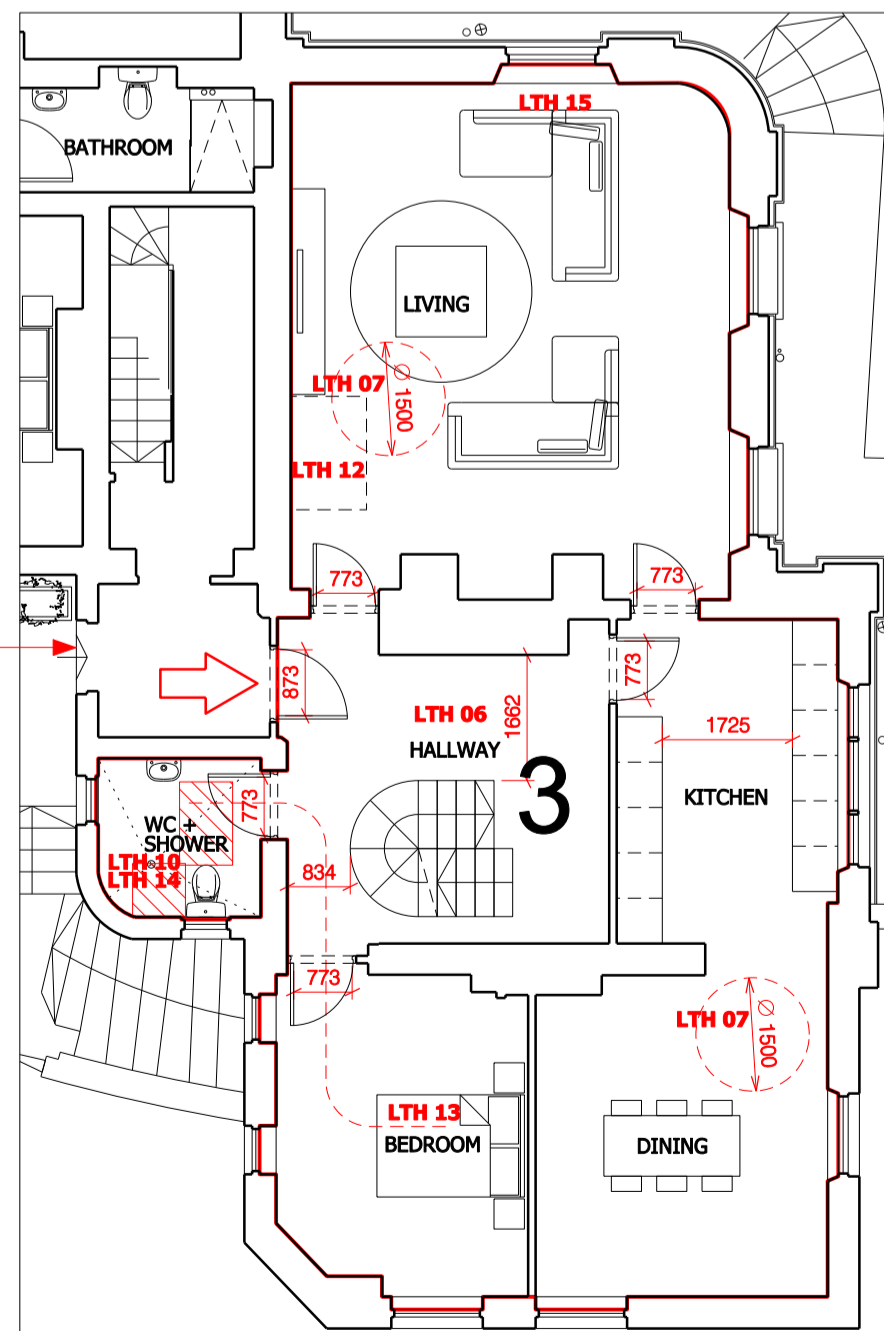
Apartment type E4 (2 bed, second floor)



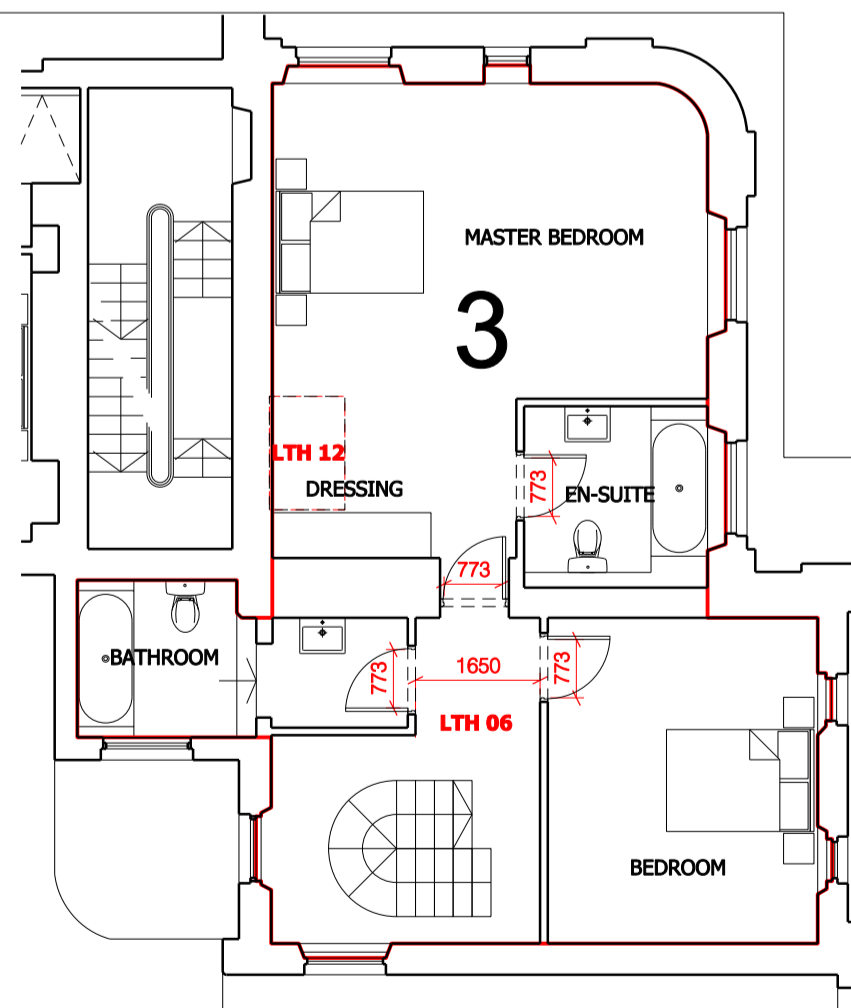
Apartment type E3 (3 bed, first floor)



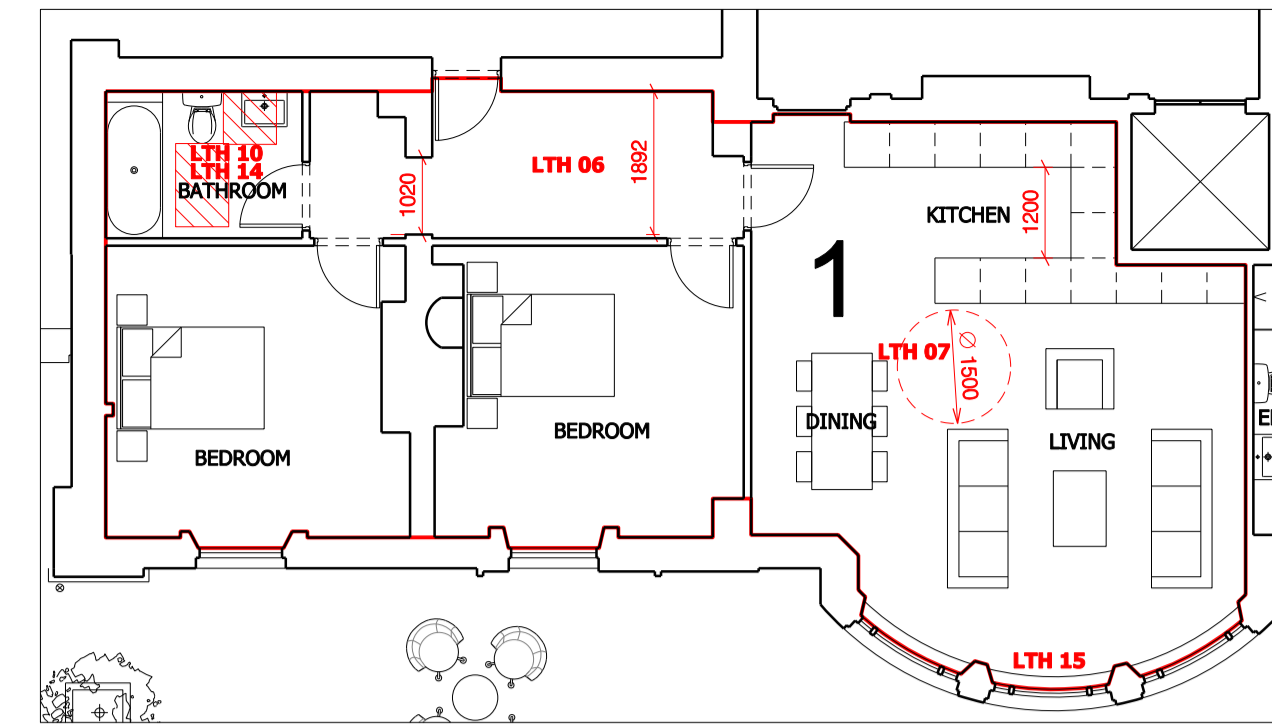
Apartment type E3 (2 bed, first floor)



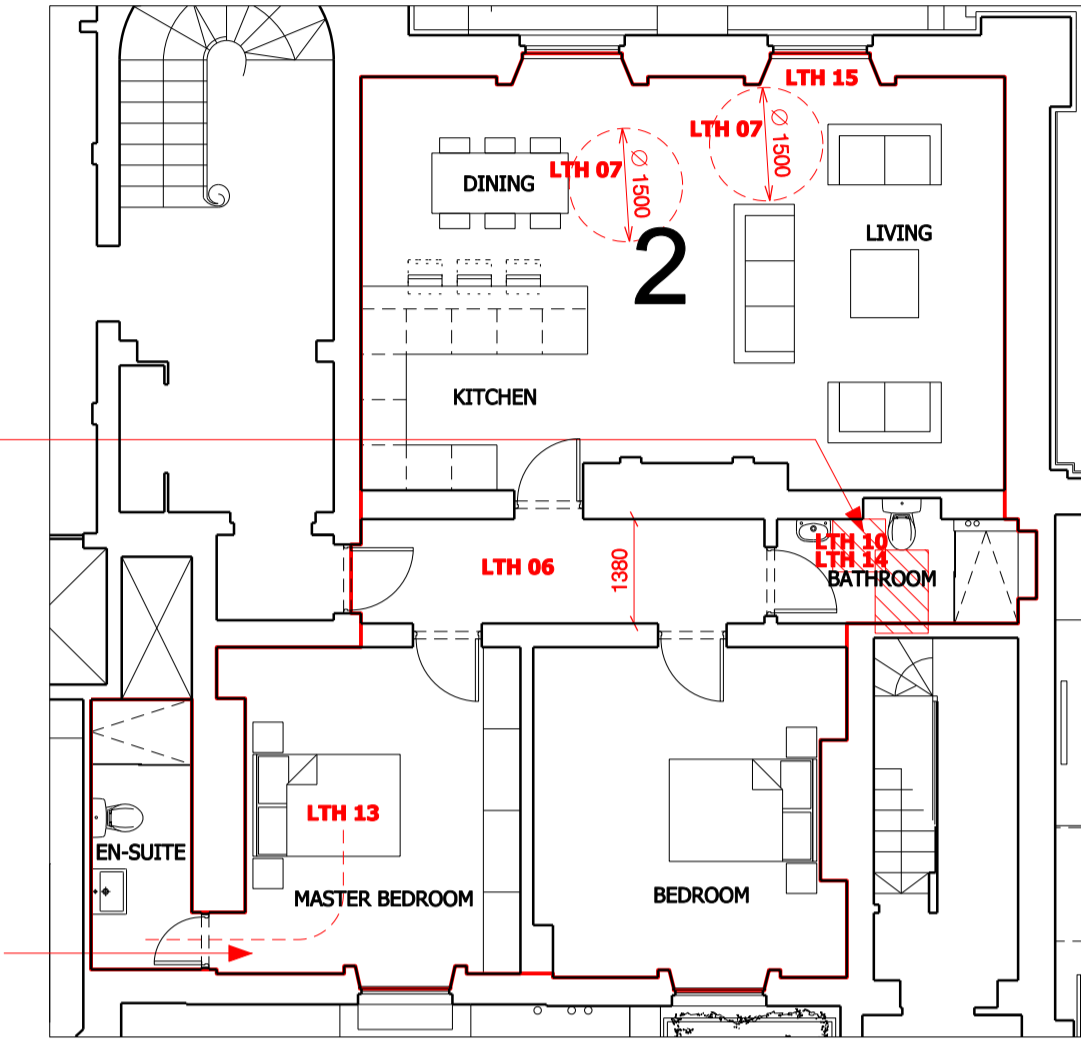
Apartment type E5 (3 bed, triplex)



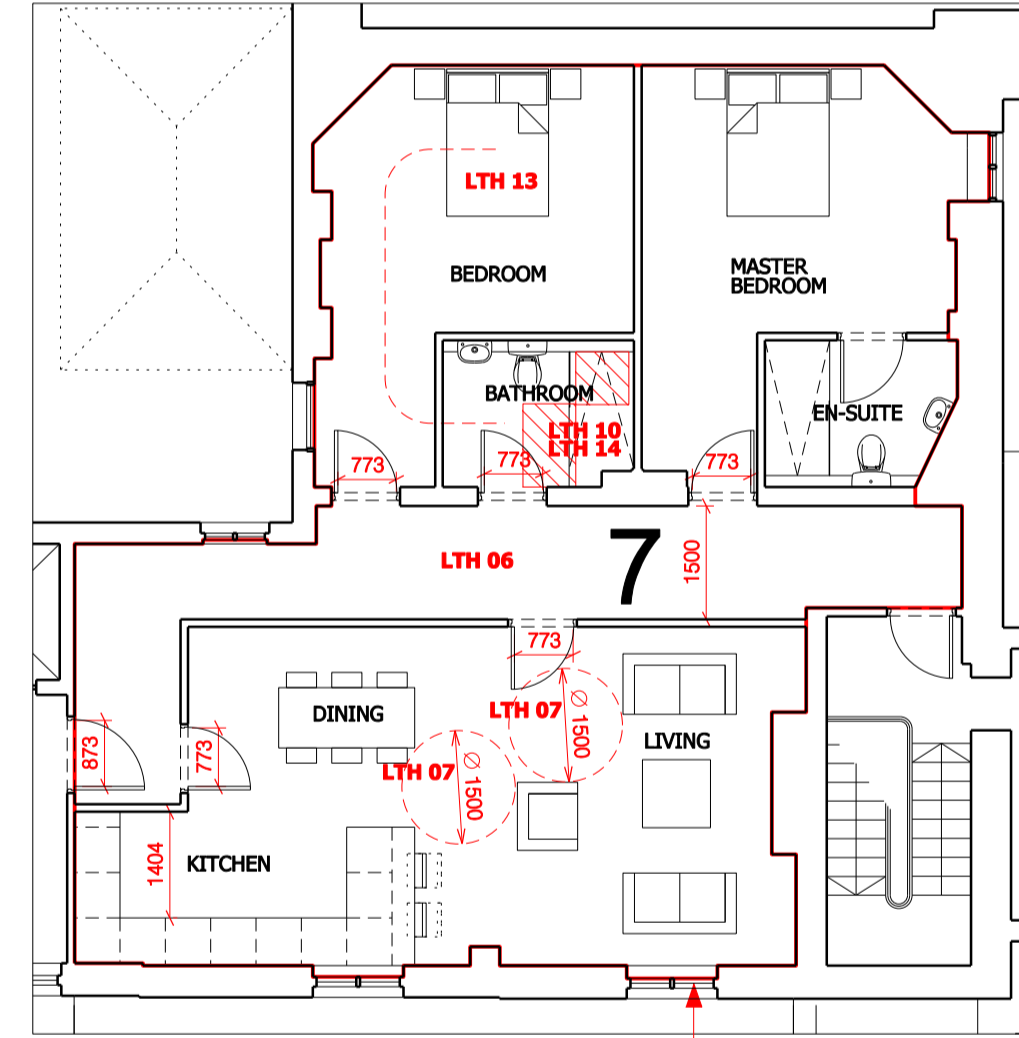
LTH 4 cannot be achieved here due to constraints of the existing listed building (Note easier access can be provided at ground floor)



Apartment type E1 (2 bed, ground floor)



Apartment type E2 (2 bed, ground floor)



LTH 15 cannot be achieved here due to constraints of the existing listed building (window sill not at 800mm)

